



**Lake District  
National Park**

**6**

**Report from the Head of Development Management to the  
Development Control Committee**

Application number:	<b>7/2025/5119</b>
Application type:	Full Planning application
Applicant:	Mr A Dawson
Location:	Hartbarrow Cottage, Cartmel Fell, Windermere, LA23 3PA
Grid reference:	340722 490522
Proposal:	Demolition of part of the existing house, outbuildings and garage. Extensions and alterations
Report prepared by:	Abigail Holt, Planner
Report agreed by:	Andrew Smith, Head of Development Management
Recommendation:	APPROVE with conditions

**1 About this report**

- 1.1 The case planner has prepared this report, assessment and recommendation taking into account our policies (known as the Development Plan), written representations we have received, and any other material considerations.
- 1.2 Material considerations are things that are relevant to our decision making and which we are able to take into account – for example site specific factors, or Government planning policy (the National Planning Policy Framework) and Government planning guidance (the National Planning Practice Guidance).
- 1.3 The Development Control Committee will determine the application at its meeting having regard to the provisions of the Development Plan, representations we have received, and all other material considerations, following a verbal and visual summary of the application by the case

planner and, where applicable, after hearing any verbal representations made in accordance with our Policy for Public Speaking at Meetings.

- 1.4 Most applications are decided under powers delegated to the Head of Development Management. A small number of significant or more contentious applications are considered by our Development Control Committee as set out in our Scheme of Delegation.

## **2 Background**

- 2.1 The application is being reported to Committee because the recommendation of approval is contrary to the objection from Cartmel Fell Parish Council and representations received.
- 2.2 The application site is Hartbarrow Cottage, located in open countryside approximately 1.4 km to the north-west of Bowland Bridge. We understand it has been unoccupied for many years and is now in a state of dilapidation. The woodland to the north of the site boundary is designated as Ancient Semi Natural Woodland (Intake and Garret Wood) and a County Wildlife Site.
- 2.3 We have previously granted planning permission for alterations and extensions at the site (7/2021/5776 & 7/2022/5665). These permissions were subject to a condition that no development take place until a construction method statement was submitted to, and approved in writing by, the Local Planning Authority. A construction method statement was submitted to discharge condition 3 of application 7/2022/5665 on 10 December 2024 (ref. 7/2024/5694). However, works on site commenced before the construction method statement was approved. Because pre-commencement conditions were not complied with the works which have taken place are unauthorised. Because pre-commencement conditions were not complied with, no material commencement of the 2021 and 2022 application permissions has occurred. Both permissions have therefore now lapsed by passage of time.
- 2.4 In 2024, a new planning application for a larger scheme to extend the property was submitted (7/2024/5116). This application was withdrawn after we indicated that it was to be refused.
- 2.5 The current application seeks planning permission for demolition of part of the existing house, outbuildings and garage, extensions and alterations.
- 2.6 There is concurrent planning application for a similar but smaller scheme (7/2025/5225).
- 2.7 There is an open enforcement case investigating the ongoing works on site which do not have planning permission (E/2025/0051).

## **3 Proposals**

- 3.1 Permission is now sought for the demolition of part of the existing house, outbuildings and garage, as well as for extensions and alterations.

- 3.2 This application revises the withdrawn application 7/2024/5516 and seeks to address concerns we raised regarding the design and scale of that proposal, and other matters raised at that time.
- 3.3 This application is similar in scale and design to the previously approved application 7/2022/5665. Instead of the previously approved basement, this application now proposes a northern extension in the position of the garage, linked to the main dwelling.
- 3.4 After the original public consultation period had finished, the submitted plans were amended to reflect the works that have already taken place on site, including changes to the siting of retaining walls and the package sewage treatment plant (PSTP). These aspects of the application are therefore retrospective. The public consultation period was restarted following receipt of the amended plans.

#### **4 Representations**

- 4.1 Cartmel Fell Parish Council have provided an extensive representation recommending refusal for, in summary, the following reasons:
  - The development would be overly prominent and have a visually dominant impact.
  - Horizontal extension would adversely impact the sense of place and distort the hierarchy within the area.
  - The 'terraced gardens' within the plans do not form part of the domestic curtilage, development should not take place in the adjoining 'undeveloped' land, and the domestic curtilage should be clarified.
  - Concern over lack of parking following the removal of the garage.
  - Failure to demonstrate ability for safe access or vehicle movement.
  - Concern for light pollution.
  - Concern for the PSTP and impact on water supply.

The Parish Council also suggests multiple conditions should planning permission be granted.

- 4.2 The Lead Local Flood Authority commented that "the LLFA surface water map shows that the site is very close to an area of flooding and indicates that a 0.1% (1 in 1000) chance of flooding occurring each year. However this is mostly in the garden area and this application is for an extension so the applicant is aware of this".
- 4.3 The Local Highway Authority commented that they have concern about where parking spaces are located as the garage is to be demolished. They state that inadequate information has been submitted in terms of off-street parking.
- 4.4 Westmorland and Furness Council's Environmental Protection Team have commented that in their view the submitted construction management plan fails to address all potential issues adequately. They recommend a condition that requires a new construction management plan to be submitted with further details. A condition is also recommended to restrict

the hours of work, and an informative relating to the compliance of the package sewage treatment plant (PTSP) with building regulations.

- 4.5 24 letters of representation have been received, some of which are from the same household.
- 4.6 Nine of the representations focus on the works that have already occurred onsite, including the package sewage treatment plant. They raise the following concerns:
  - Works have commenced on site before the pre-commencement conditions have been satisfied. These works do not have planning permission and must be stopped.
  - The siting and size of a new PSTP are not in accordance with the previously approved plans. The PSTP is in close proximity to a water supply source, and there is concern for water quality.
  - The works do not have proper monitoring or oversight from relevant authorities.
- 4.7 Fifteen of the representations objected to the proposals. They raised the following points:
  - Harm to the landscape, special qualities and cultural heritage of the Lake District National Park and World Heritage Site.
  - Over development of the site, impacting the sense of place and the hierarchy of the buildings within the hamlet.
  - Excavating the house into the site will increase the curtilage of hard construction and impact the local water table.
  - Disingenuous site plans do not show the ground levels.
  - The design, scale and layout would harm the local distinctive character and identity of the hamlet.
  - Increased light pollution would be harmful to the darkness of the night skies.
  - Insufficient parking space and turning circle.
  - The PSTP would be close to a water course and cause a risk of contamination.
  - Confirmation is needed to ensure water supply is not impacted.
  - Concern about access being difficult and lack of rights to use the private driveway shared with Little Hartbarrow.
  - Conditions should be imposed to ensure the dwelling is for local occupancy and the additional space is ancillary.
  - Risk of surface water flooding.
  - Confusion about works on site not aligning with the proposed plans.
  - Confusion about the curtilage and concern for that the adjoining land stated as 'terraced garden' in the application is not garden space.

## **5 Development plan policies and other relevant guidance**

- 5.1 The relevant Development Plan comprises:
  - The Lake District National Park Local Plan 2020-2035
- 5.2 The following Lake District National Park Local Plan policies are relevant to this application:
  - Policy 01: National and international significance of the Lake District
  - Policy 02: Spatial strategy

- Policy 03: Development and flooding
  - Policy 04: Biodiversity and geodiversity
  - Policy 05: Protecting the spectacular landscape
  - Policy 06: Design and development
  - Policy 20: Renewable and low carbon energy
- Design Code Supplementary Planning Document
- 5.3 The National Planning Policy Framework (NPPF) sets out the Government's planning policies for England and how these are expected to be applied. It is a material consideration in the determination of planning applications.

## **6 Main issues and assessment**

- 6.1 Extending a dwellinghouse is acceptable in principle. Extension has recently been permitted twice, although those permissions have now lapsed. The main issues in this assessment are:
- Character and appearance of the area
  - Amenity of neighbours
  - Access and parking
  - Pollution control and water supply
  - Protected species
  - Trees and Ancient Semi Natural Woodland (ASNW)
  - Energy Statement
  - Construction method statement (CMS)

### Character and appearance of the area

- 6.2 Policy 06 states that development must reinforce the importance of local character by having regard to scale, height, density, layout, appearance and materials.
- 6.3 Hartbarrow Cottage is a 3-bedroom detached property with several outbuildings and a detached garage. The dwelling consists of the original stone-built cottage with an extension, wrapping around the southwest side and rear elevations. The building is finished in roughcast render painted white under a slate roof giving a traditional appearance. The dwelling has timber windows of varying proportions/designs, with slate cills. It has been unoccupied for some time and had been allowed to fall into a poor state of repair before works started. In my opinion the original extension and outbuildings are of no particular design merit and there is no objection to their removal.
- 6.4 The proposed two storey extension to the northwest would be faced in stone with a slate roof laid in diminishing courses. It would be designed to look similar in appearance to a traditional Lakeland stone barn and would have a slightly reduced ridge height compared to the previously approved plans.

- 6.5 To the north, a single storey extension is now proposed. It would be constructed of stone clad walls with a pitched slate roof. It would be set at an angle similar to the existing garage, which would be demolished, and connected to the main dwelling with a flat roof link finished with a sedum roof. The link structure will have a more contemporary appearance with larger expanses of glazing at the rear where they would not be readily visible from public vantage points. This extension would increase the overall footprint of the dwelling and introduce a bend to the form of the building. I do not however find this harmful.
- 6.6 There would be a single storey side extension on the southwest elevation, constructed of stone facing with a slate pitched roof and a traditional stone chimney stack. The eaves would be dragged down on the southeast side over an oak framed structure to form a glazed garden room. It would have a lower ridge height and a reduced level of glazing compared to the previously proposed plans (7/2024/5516). It would remain in line with the proposed single storey pitched roof porch with stone facing.
- 6.7 Solar panels are proposed on the southwest elevation. Policy 20 gives support to proposals for renewable and low carbon energy installations where the development would be compatible with the existing landscape character. The solar panels would have reduced public visibility and would be acceptable.
- 6.8 Landscaping is proposed to the surrounding garden area, including stone faced retaining walls and exposed natural rock face. Within the garden area to the front of the dwelling, a package sewage treatment plant is proposed (this has already been installed). Although the PTSP location differs from previous applications, it is proposed to be connected to a soakaway in a previously approved location to the north of the dwelling. All drainage elements would be fully or mostly below ground and are acceptable from an appearance perspective.
- 6.9 Overall, I consider that the proposals are of a scale and design which is acceptable relative to the existing property and would satisfactorily maintain local distinctiveness and sense of place. I recognise that many objectors come to a different judgement in this respect. Conditions are required regarding materials and design detail in order to achieve a satisfactory scheme. Also given the nature of the development and its location a condition to restrict exterior lighting on the extension without permission would be reasonable.
- 6.10 I am satisfied that the development proposed is acceptable in terms of its impact on the character and appearance of the area and that it satisfies the requirements of Local Plan Policies 01, 02, 05, 06, 20, the Design Code SPD and the NPPF.

### **Amenity of neighbours**

- 6.11 Policy 06 states that development must not have an unacceptable impact on the amenity of adjoining residents and users of the proposed

development, due to visual intrusion, overlooking, overshadowing, overbearing effect, noise, light pollution or other adverse impacts.

- 6.12 High Hartbarrow lies to the southwest of the site, with 1 to 4 The Byres, Great Hartbarrow and Great Hartbarrow Cottage to the northeast. The private drive access to Little Hartbarrow runs immediately east of the site and provides the access.
- 6.13 Due to the higher level in which neighbouring High Hartbarrow is located, as well as the distance of approximately 30 metres from the proposals, the development would not result in any dominating effect on that property or unacceptable overlooking. Numbers 1 to 4 The Byres, Great Hartbarrow and Great Hartbarrow Cottage are located at least 90 metres away, sited at a lower level with intervening trees/woodland and outbuildings, which would prevent any issues of overlooking or over dominance.
- 6.14 I am satisfied that the development would not have an unacceptable impact on amenity due to visual intrusion, overlooking, overshadowing or overbearing effects. A high standard of amenity for existing and future users of the building and neighbours would be maintained in these respects. The development is acceptable in terms of these amenity impacts and satisfies the requirements of Local Plan Policy 06, the Design Code SPD and the NPPF in these respects.
- 6.15 I will address amenity issues linked to parking, water supply and construction separately below.

### **Access and parking**

- 6.16 The site is accessed off The Byres via a private driveway to Little Hartbarrow. The existing vehicular access to the property is restricted and could be difficult to use, given its configuration. A new access is proposed to the north of the site onto the private driveway to Little Hartbarrow. Its width and configuration appear to be acceptable in terms of safety and will have no impact on the public highway.
- 6.17 Concern has been raised by both Cartmel Fell Parish Council and representations about the legality of creating the new access to the private drive and the use of the private driveway. Use of the private driveway is a private legal matter. If the applicant is not already entitled to use the driveway they will need to get permission from the owner of Little Hartbarrow. Irrespective, the access raises no planning concerns.
- 6.18 Both the Local Highway Authority and representations have raised concern about whether there is sufficient parking on site following the removal of the garage. Having looked at the plans, there is space measuring approximately 10 by 8.5 metres which can be used for parking, as well as further space along the proposed driveway with Hartbarrow Cottage's grounds. Given that the dwelling is remaining a three-bed dwelling and overall parking and turning space appears to be increasing, I consider this space to be of an adequate size for parking, and therefore acceptable.

- 6.19 Some representations have noted that a lack of sufficient parking could result in vehicles parking on Little Hartbarrow's private driveway. This would impact upon the amenity of Little Hartbarrow by blocking their access. I consider the parking provision on site acceptable and have not identified likely adverse amenity impacts in this respect.

### **Pollution control and water supply**

- 6.20 The plans originally submitted with this application showed a PSTP located to the north of the dwelling, as had been approved in previous applications. However, objectors highlighted that despite what was shown on the plans a package sewage treatment plant had instead been installed adjacent to the house in the position of the former septic tank. The plans have since been amended to reflect this. Some objections have asserted that the treatment plant will discharge to the watercourse - this is not what is proposed. The treatment plant installed incorporates a pump. The plans show the treatment plant pumping to a soakaway to the north of the dwelling in the same position as previously approved. Given that the soakaway will remain clear of the 15 metres buffer zone around the ancient semi-natural woodland, the soakaway should not adversely impact upon it.
- 6.21 The parish council and representations consider that the PSTP should be confirmed as the ASP06 model for 6 person capacity, as previously approved. They state that planning permission should not be granted for any larger waste disposal facility as the redevelopment and extensions applied for are considered the maximum that could be supported on the site. I have spoken with the applicant, who has confirmed that the PSTP is a Tricel Novo UK8, which has a capacity for 3-8 persons. I consider that the PSTP would be adequately sized to serve the proposed three-bedroom dwelling.
- 6.22 There is no mains water supply locally. We understand some neighbours abstract their drinking water from the beck. There is concern raised that siting the PSTP in close proximity to the watercourse could impact upon drinking water quality and supply - an amenity consideration.
- 6.23 Package treatment plants are generally considered suitable for being discharged directly to watercourses, subject to meeting Environment Agency requirements. However, that is not what is proposed in this case. The proposal is to discharge to a new drainage field well away from the beck in a location previously found acceptable to this Authority. I see no reason why the drainage field location should not be acceptable again. In any case, sewage treatment plants and their emissions are controlled by separate pollution control regimes through Building Regulations and by the Environment Agency under environmental permitting legislation. Non-mains water supply quality is also regulated under the Private Water Supplies Regulations 2016. Together these regimes operate to ensure that wastewater does not result in unacceptable impacts and that private water supplies will be treated as necessary to ensure water is safe and wholesome.

- 6.24 Ultimately, the issue of the water quality is covered by other legislation, and it is a well-established principle that the planning system should operate on the basis that related regulatory controls operate effectively and should not be duplicated (NPPF paragraph 183). In this case it is reasonable to conclude that the discharge from the treatment plant as proposed should not give rise to harmful impacts, and in any event that it will be satisfactorily regulated by the pollution control regime.

### **Protected species**

- 6.25 Under Article 12 of the EC Habitats Directive and Regulation 9(3) of the Conservation of Habitats and Species Regulations 2017 we have had regard to the requirements of the Habitats Directive. The applicant commissioned a bat survey which was submitted with the application. The survey found evidence of bats using the site, with soprano pipistrelle emerging from two locations - one at the eaves and one at the ridge near the chimney. The survey advises a Mitigation Licence will be required from Natural England prior to works being carried out.
- 5.26 In these circumstances we are required to assess the likelihood of a licence being granted. Based on the available information I am satisfied that there is no alternative to the disturbance, that the favourable conservation status of the species will be maintained within its natural range (subject to the mitigation proposed) and that public interest test for a licence is likely to be passed. I conclude that the derogation tests could be passed, and that the proposals are in accordance with Policy 04 of the Local Plan.

### **Trees and Ancient Semi Natural Woodland (ASNW)**

- 6.27 Extensive works have already taken place on site, with much of the ground cover removed or disturbed. Some trees have been retained. There were no protected trees on site, and no planning restriction on any tree removal which has occurred. To avoid further potential harm to trees arising from development activities, an arboricultural report has been submitted which outlines appropriate construction methods to avoid impacts on the tree. I am satisfied that subject to these methods the works would not impact on the integrity of the trees.
- 6.28 Local Plan Policy 04 seeks to protect important habitats, sites and species. Proposals which have a significant and harmful direct or indirect impact on biodiversity and ecosystems will only be supported where the need for the development clearly outweighs the harm caused; and an appropriate scheme is proposed which will secure compensation and net increases in biodiversity.
- 6.29 The NPPF outlines that development resulting in the loss or deterioration of irreplaceable habitats (such as ancient woodland) should be refused, unless there are wholly exceptional reasons and a suitable compensation strategy exists. Additionally, the NPPG outlines the standing advice produced by Natural England and The Forestry Commission and states that any impacts both direct (damage to roots, understory, soils etc) and indirect (light and air pollution, activity and disturbance) should be avoided.

- 6.30 The proposed soakaway would be positioned to allow a 15-metre buffer zone of the ASNW. As such, none of the proposed development would be within the Intake and Garret Wood ASNW and there would be no loss of trees from the ASNW.
- 6.31 The construction method statement provides details of the storage of plant/materials and construction vehicles, and the erection of temporary protective fencing to form a construction exclusion zone. However, during the works which had already occurred I saw material stored within the 15-metre buffer zone. This is not acceptable due to the risk of harm to the ASNW, and we have told the applicant to clear the buffer zone of all material.
- 6.32 To ensure that no further works occur without the necessary protective measures, a condition is required. Subject to this condition, I am satisfied that the requirements of Local Plan policies 04 and 05, the NPPF and the NPPG, have been satisfied.

### **Energy statement**

- 6.33 As the proposed floorspace to be created is over 100 sqm, Policy 20 of the Local Plan is engaged. An energy statement has been provided within the Design and Access Statement, however there is insufficient detail in how the required 30% reduction in the operational energy requirements are to be met. I therefore consider that a condition is required in order to achieve this. Subject to such a condition I am satisfied that the proposal is in accordance with Policy 20 of the Local Plan.

### **Construction method statement**

- 6.34 Within previous applications 7/2021/5776 & 7/2022/5665, we applied a pre-commencement condition requiring the applicant submit a construction method statement providing further details relating to: parking; loading, unloading, and storage of plant and materials; and measures to prevent pollution to the watercourse through run-off.
- 6.35 A construction method statement has been submitted as part of this application covering these matters. Notwithstanding the submitted construction method statement, Westmorland and Furness Council's Environmental Protection team have recommended a condition that a further construction method statement to be submitted. They have recommended a number of measures be secured through the construction method statement. Whilst this is a larger scale house extension, I consider that many of the measures Environmental Protection propose are disproportionate to the nature of this householder application, rendering the condition they propose unnecessary. For example, the scale of this development does not require a programme of works, a scheme of public engagement and continued liaison with the public, nor decorative hoardings and displays or facilities for public viewing. Westmorland and Furness also request details of piled foundations are obtained, yet no piled foundations are proposed.

- 6.36 I have considered the representation of Westmorland and Furness Environmental Protection, however I am satisfied that the construction method statement already submitted provides adequate details to minimise the risk of pollution or disturbance. I consider it necessary to secure the CMS by condition.

### **Other matters**

#### Intentional unauthorised development

- 6.37 A planning policy statement on Green Belt Protection and Intentional Unauthorised Development came into force at the end of August 2015. This makes intentional unauthorised development a material consideration in the determination of planning applications. There is no guidance or definition of 'intentional unauthorised development'. Because it is impossible to know what was in a particular person's mind at a particular moment in time, we must construct a picture and reach a view of the weight to be attributed to this issue, based on the information and evidence available around any individual retrospective case.
- 6.38 Works have already started on site. The siting of retaining walls and the package sewage treatment plant are retrospective aspects of this application. I have no evidence demonstrating that there was intent on the applicant's part to proceed knowingly unlawfully, or with malicious intent. Planning permission had been obtained on two previous occasions, and it seems unlikely that if the property owner understood the consequences of proceeding without a construction method statement first having been approved they have knowingly proceeded. As such I afford the ministerial statement little weight in this case

#### Future development and use of the site

- 6.39 The parish council has stated that the application should be subject to conditions to secure local occupancy and to ensure the additional space will be used as ancillary space. The current dwelling has no occupancy restriction attached to it. There is no net gain in housing and no policy basis to apply a local occupancy restriction.
- 6.40 The property could potentially be used for holiday letting at present without requiring planning permission. If a material change of use occurred (for example parts of the property were to be used independently as a holiday let) then that would require planning permission, but that is not the application before us.
- 6.41 The parish council have stated that consideration should be given to potential future development. We can only assess the proposed developments within this application. Any further developments would be assessed on their own merits should planning permission be necessary.

6.42 The parish council and representations have stated that the land adjacent to the site boundary is undeveloped land that does not form part of the domestic curtilage, and development or change of use of this land should not be permitted. they also allege a material change of use of land to garden has occurred. We can only assess the proposed development before us, and this application does not propose change of use of land. Even if a change of use had been proposed, it could be not considered within a householder application, and a separate full planning application would be required. Nevertheless, I have provided an informative to clarify that no material change of use to the domestic curtilage is permitted.

## 7 Conclusion

7.1 Having regard to the provisions of the development plan, in particular Lake District National Park Local Plan Policies 01, 02, 03, 04, 05, 06, 20, the Design Code SPD and other material considerations (including the provisions of the NPPF), the development is considered to be acceptable, subject to the conditions recommended.

**RECOMMENDATION: APPROVE with conditions**

### Conditions/Reasons

1 The development hereby permitted shall be commenced before the expiration of THREE years from the date hereof.

REASON: Imposed in accordance with the provisions of Section 91 of the Town and Country Planning Act, 1990.

2 The development hereby permitted shall not be carried out otherwise than in conformity with the following submitted plans and details:

- Bat Survey Summer 2024
- Design and Access Statement stage 03 Planning issue 02
- Non-mains drainage questionnaire
- Brochure sewage treatment plan
- Arboricultural Implication Assessment ref. 310125 - 1154
- Construction Method Statement ref. 2404
- Flood risk assessment ref. 2404
- Ground floor plan and elevations dwg no. 11 rev A
- First floor plans and elevations dwg no. 12 rev A
- Proposed overall site plan dwg no. 07 rev C
- Site location plan dwg no. 03 rev A

REASON: For the avoidance of doubt.

3 No further development shall take place, including any works of demolition, until a temporary protective fence has been erected parallel to the north western boundary of the site with Intake and Garret Wood at a distance of 15 metres from the boundary and for the width of the site, to form a Construction Exclusion Zone.

Thereafter the Construction Exclusion Zone and fencing shall be maintained in accordance with these requirements for the duration of the works.

REASON: A pre-commencement condition is required in order to protect the woodland (designated as Ancient Semi Natural Woodland) to the north west of the site, in accordance with Policies 04 and 05 of the Lake District National Park Local Plan 2020-2035.

- 4 Unless otherwise agreed in writing by the Local Planning Authority, the development shall take place in full accordance with the construction method statement dated March 2025 and submitted to the Local Planning Authority within this application.

REASON: In order to minimise the risk of pollution or disturbance a construction method statement needs to be agreed before work starts on site. This is in accordance with Policy 06 of the Lake District National Park Local Plan 2020-2035 and the provisions of the National Planning Policy Framework.

- 5 Prior to the installation of any windows, external doors or exposed timberwork hereby permitted, details of the following shall be submitted to and approved in writing by the Local Planning Authority:
  - i. Design of all new timber windows and doors
  - ii. Colour finish of all windows, doors and exposed timberwork.

Thereafter the development shall be completed in accordance with the approved details.

REASON: To ensure a satisfactory standard of appearance in accordance with Policies 01, 02, 05 and 06 of the Lake District National Park Local Plan 2020 - 2035.

- 6 The roofs of the extensions hereby permitted shall be covered and maintained in local blue-grey slates which have been mined or quarried in Cumbria. Such slates shall be riven not sawn, and shall be laid in diminishing courses from eaves to ridge.

REASON: To ensure a satisfactory standard of appearance of the development by the use of traditional materials in accordance with Policies 01 and 06 of the Lake District National Park Local Plan 2020-2035.

- 7 All new stone walls on or around the site shall match (in terms of size, method of laying, pointing and jointing details) the appearance, character, colour and texture of the existing stone walls on the site.

REASON: For the avoidance of doubt and to ensure a satisfactory standard of appearance of the development in accordance with the provisions of Policies 05 and 06 of the Lake District National Park Local Plan 2020-2035.

- 8 The external walls of the building hereby granted permission shall be completed with a finish of roughcast in which the final coat contains a preparation of fairly coarse aggregate thrown on as a wet mix and left rough.

REASON: For the avoidance of doubt and to ensure a satisfactory standard of appearance of the development in accordance with the provisions of Policies 05 and 06 of the Lake District National Park Local Plan 2020-2035.

- 9 Prior to the first use of the development hereby permitted, at least 30 percent of the operational energy requirements of the development shall be secured from decentralised, district heating and/or renewable or low-carbon energy sources. Details and a timetable of how this is to be achieved, including details of any physical works on site, shall be submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented in accordance with the approved timetable and retained as operational thereafter, unless otherwise agreed in writing by the Local Planning Authority.

REASON: In the interests of increasing the proportion of energy generated through renewable and low carbon sources in accordance with Policy 20 of the Lake District National Park Local Plan 2020-2035.

- 10 No external lighting shall be installed on the extensions hereby permitted other than in accordance with details that have first been submitted to and approved in writing by the Local Planning Authority.

REASON: To safeguard the darker night-time character and appearance of this open countryside location in accordance with Lake District National Park Local Plan policies 01 (National and international significance of the Lake District), 05 (Protecting the spectacular landscape) and 06 (Design and development). To minimise the risk of disturbance to protected species present on and around the site in accordance with Lake District National Park Local Plan Policy 04 (Biodiversity and geodiversity).

### **NPPF decision notice requirements**

#### **INFORMATIVE:**

Bats and their roosts are protected under the Wildlife and Countryside Act 1981 (as amended), and the Conservation of Habitats and Species Regulations 2017. It is an offence to deliberately capture, kill or disturb bats or to recklessly damage or destroy their breeding sites or resting places. The applicant/developer should remind the building contractors to be vigilant for bats during the building work. If at any time bats are found or suspected then, as a legal requirement, work must cease in that area and before proceeding advice should be sought from a suitably qualified ecologist. Alternatively advice may be found at the website of the Bat Conservation Trust <https://www.bats.org.uk/our-work/national-bat-helpline>.

For the avoidance of doubt, this application does not alter the domestic curtilage of the dwelling, nor does it approve any change of use to the land surrounding the domestic curtilage. Should planning permission for the change of use of land be required, a separate full planning application will need to be submitted.

Town and Country Planning (Development Management Procedure) (England) Order 2015 Article 35(2) statement.

The Local Planning Authority have worked with the applicant in a positive and proactive manner based on seeking solutions to problems arising in relation to design, the location of the package treatment plant, and the construction method statement.

### **Background papers**

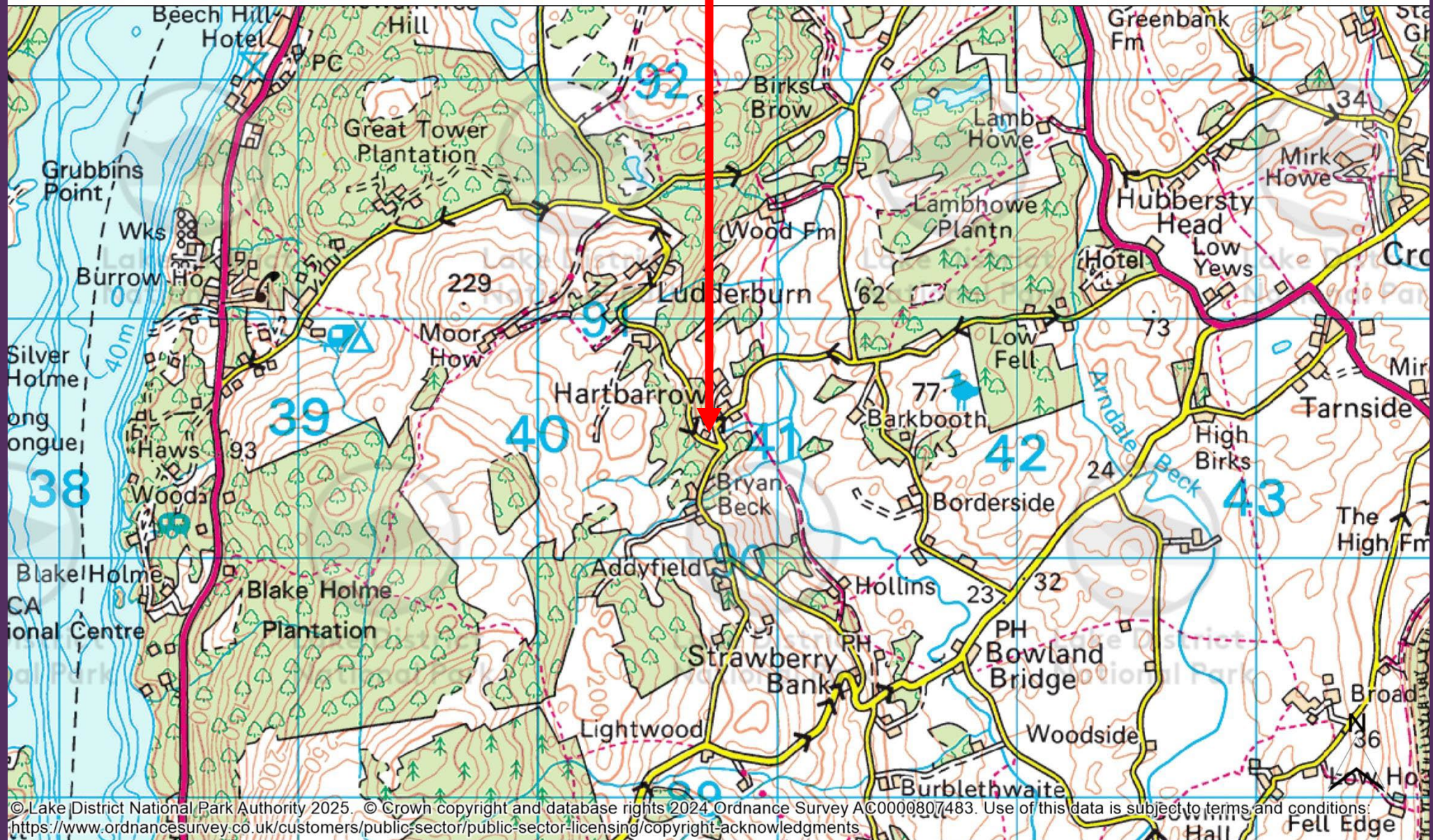
Background papers are available for inspection on the planning application file unless otherwise specified on that file as confidential by reasons of financial/personal circumstances in accordance with the Local Government (Access to Information) Act 1985.

7/2025/5119

Hartbarrow Cottage, Cartmel Fell,  
Windermere, LA23 3PA

Demolition of part of the existing house,  
outbuildings and garage. Extensions and  
alterations

# Site



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Site



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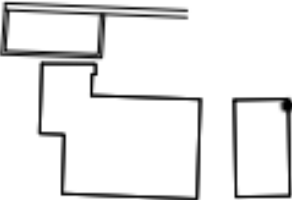
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**Lake District**  
National Park Authority

# Existing Plans



first floor plan  
scale 1/100



ground floor plan



north east elevation  
scale 1/100



north west elevation  
scale 1/100



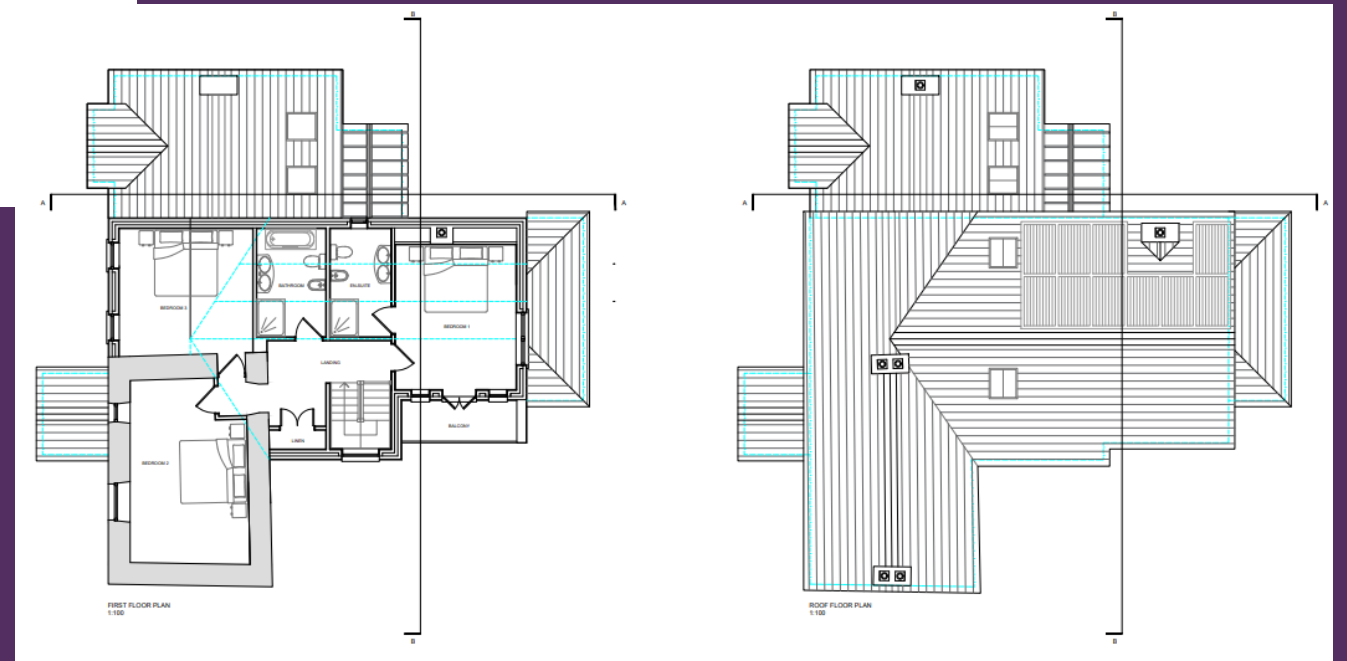
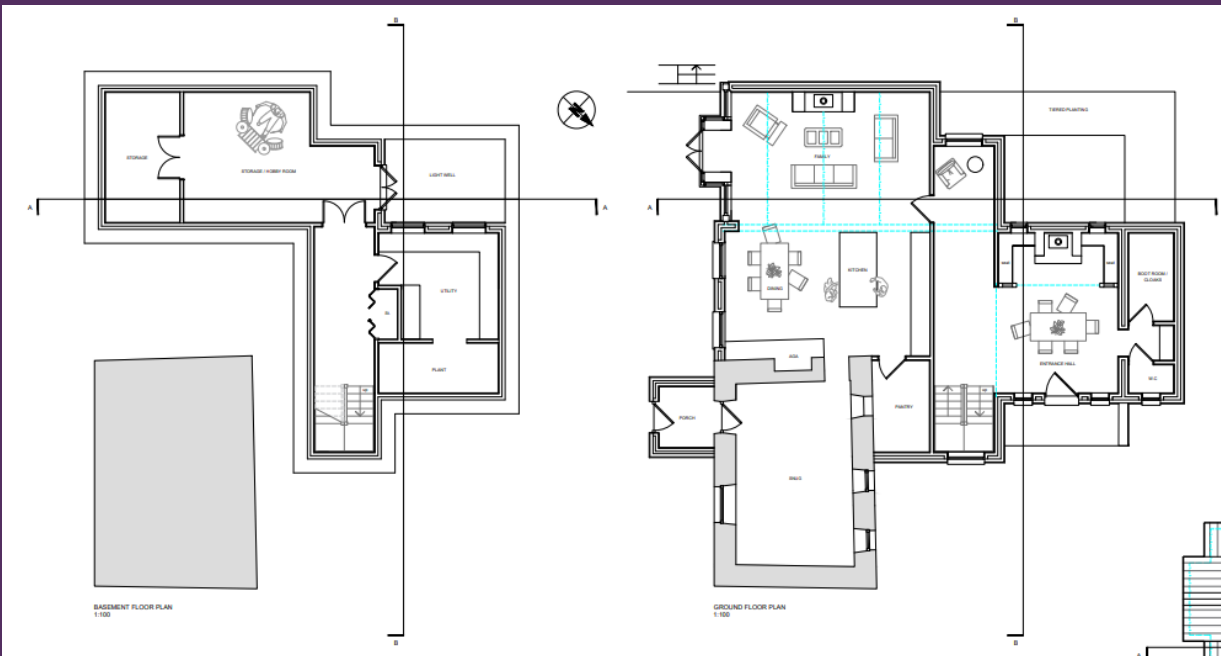
south west elevation  
scale 1/100



south east elevation  
scale 1/100



# Previously approved plans



# Previously approved elevations



NORTH-EAST ELEVATION  
1:100



NORTH-WEST ELEVATION  
1:100

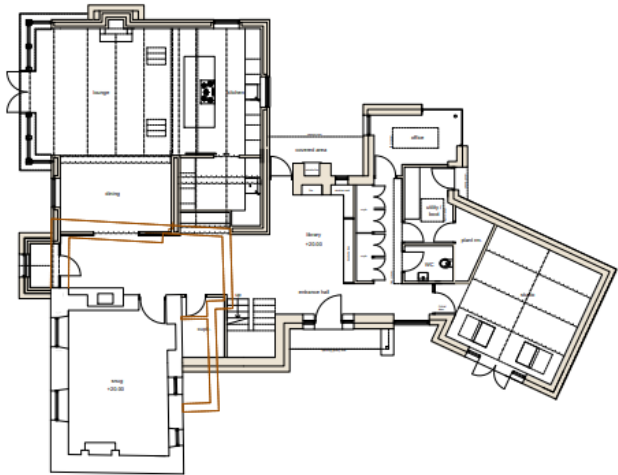
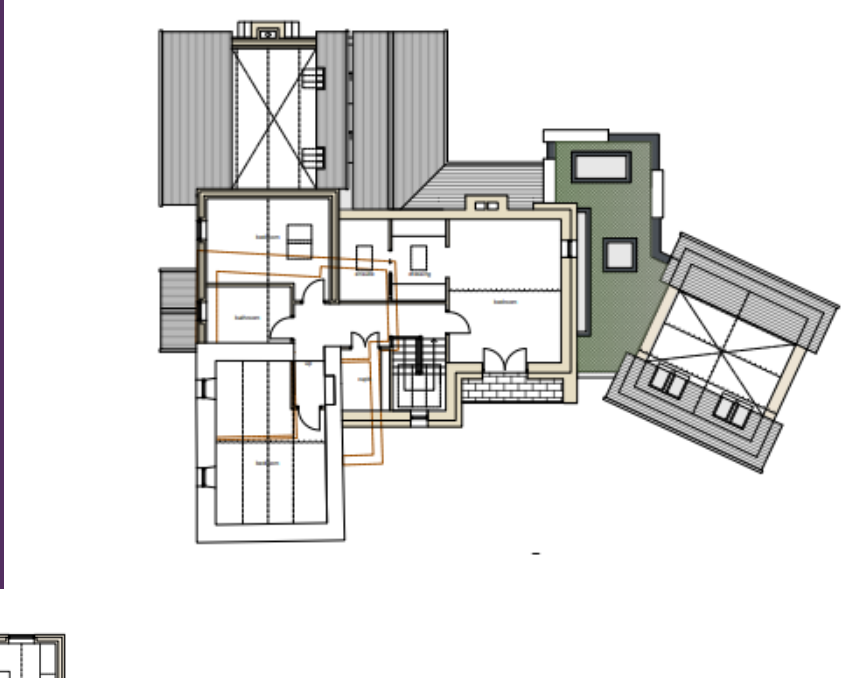


SOUTH-WEST ELEVATION  
1:100



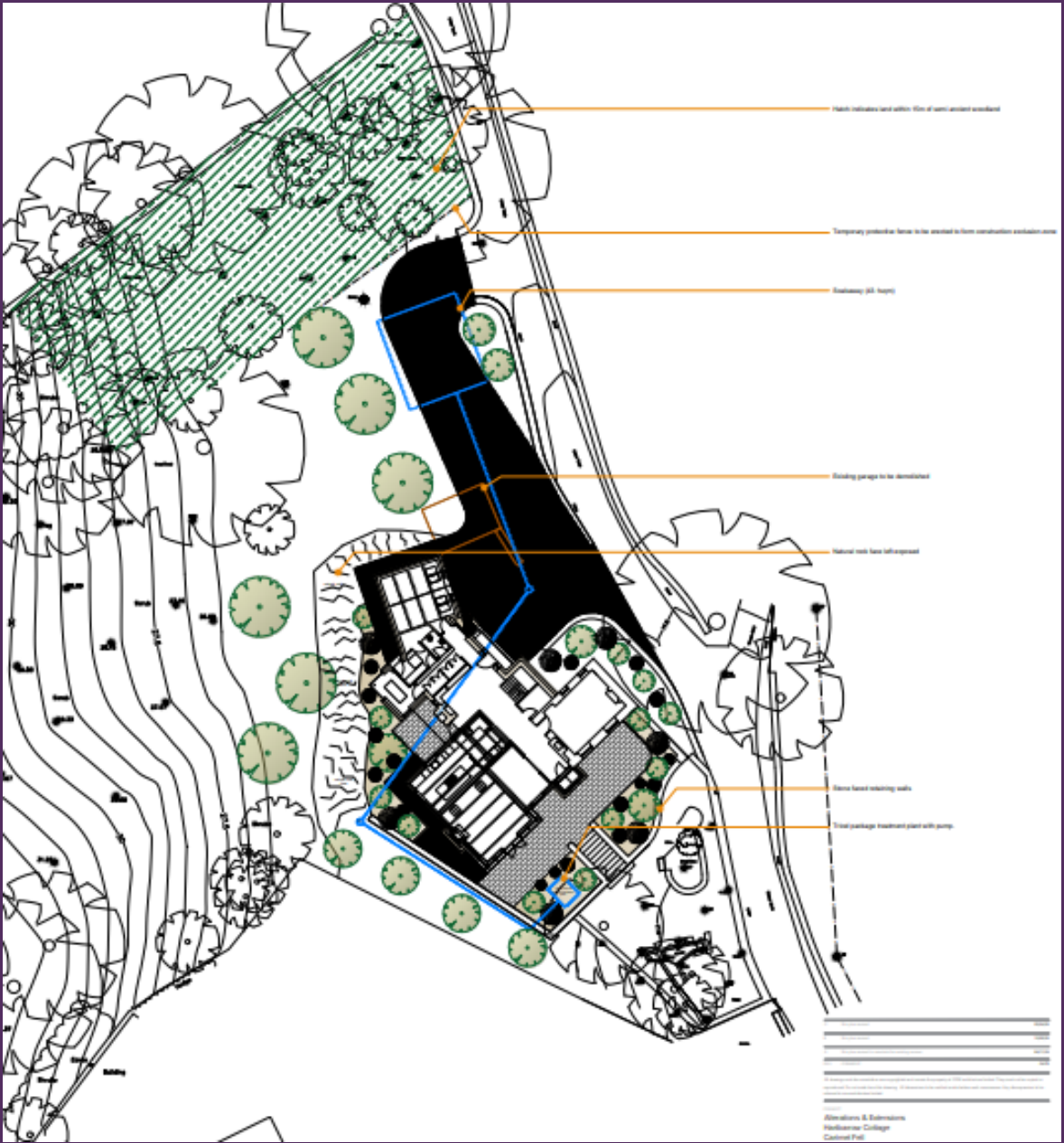
SOUTH-EAST ELEVATION  
1:100

# Proposed Plans



ground floor plan

scale 1/100



Alterations & Extensions  
Wellness College  
Central Park

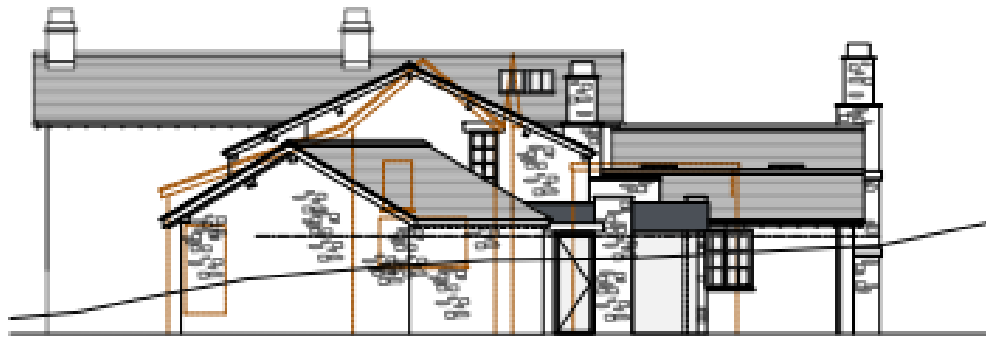
# Proposed Elevations



north east elevation  
scale 1/100



south east elevation  
scale 1/100



north west elevation  
scale 1/100



south west elevation  
scale 1/100





Road continues to The Byres 1-4 and Great Hartbarrow Farm



ASNW

Proposed  
new  
access

Little Hartbarrow's  
private driveway



ASNW

Current  
Access





3-

WILLACY BUILDING & LANDSCAPE SUPPLIES 015396 62697  
WILLACY BUILDING & LANDSCAPE SUPPLIES 015396 62697

Travis Perkins







PSTP





PSTP



