



**Lake District
National Park**

7

**Report from the Head of Development Management to the
Development Control Committee**

Application number:	7/2025/5211
Application type:	Notice of Intention (Agricultural, Q6g)
Applicant:	Mr Jake Biles
Location:	Land at Torver, Cumbria LA21 8BS
Grid reference:	327728 493530
Proposal:	New agricultural storage building
Report prepared by:	Kelsey Blain, Planner
Report agreed by:	Kevin Richards
Recommendation:	APPROVE with conditions

1 About this report

- 1.1 The case planner has prepared this report, assessment and recommendation taking into account our policies (known as the Development Plan), written representations we have received, and any other material considerations.
- 1.2 Material considerations are things that are relevant to our decision making and which we are able to take into account – for example site specific factors, or Government planning policy (the National Planning Policy Framework) and Government planning guidance (the National Planning Practice Guidance).
- 1.3 The Development Control Committee will determine the application at its meeting having regard to the provisions of the Development Plan, representations we have received, and all other material considerations, following a verbal and visual summary of the application by the case planner and, where applicable, after hearing any verbal representations made in accordance with our Policy for Public Speaking at Meetings.

- 1.4 Most applications are decided under powers delegated to the Head of Development Management. A small number of significant or more contentious applications are considered by our Development Control Committee as set out in our Scheme of Delegation.

2 Background and proposals

- 2.1 This application is being reported to Committee as the recommendation of approval is contrary to the objections of Torver Parish Council.
- 2.2 This application seeks prior approval for the erection of an agricultural storage building on a plot of land adjacent to an unclassified road circa 650m south-west of Torver.

3 Scope of the application

- 3.1 The Government grants planning permission for certain agricultural and forestry developments which allows them to take place without the need for a full planning application. Such development must be reasonably necessary for the purposes of agriculture on the unit and satisfy the requirements and thresholds for permitted development set out in the Order. Such developments require a determination as to whether our prior approval is required pursuant to Schedule 2, Part 6 of the Town and Country Planning (General Permitted Development) Order 2015 for the siting, design and external appearance of the building. No other matters can be considered.
- 3.2 The Authority has determined that prior approval is required. Additional information relating to the proposed siting of the building was requested and subsequently received.

4 Representations

- 4.1 Torver Parish Council object to the application on the following grounds:
 - The proposed siting of the agricultural building is not considered to be best placed, being visible from the highway and detracting from the landscape.
 - It is considered that the building could be screened by a close re-siting.

5 Development plan policies and other relevant guidance

- 5.1 The relevant Development Plan comprises:
 - The Lake District National Park Local Plan 2020-2035
- 5.2 The following Lake District National Park Local Plan policies are relevant to this application:
 - Policy 01: National and international significance of the Lake District
 - Policy 02: Spatial strategy

- Policy 05: Protecting the spectacular landscape
- Policy 06: Design and development
- Policy 07: Historic environment

- Design Code Supplementary Planning Document

5.3 The National Planning Policy Framework (NPPF) sets out the Government's planning policies for England and how these are expected to be applied. It is a material consideration in the determination of planning applications.

5.4 There are no relevant policies in the Draft Torver Neighbourhood Plan (Version 2).

6 Main issues and assessment

6.1 The main issues in this assessment are:

- Is the proposal permitted development?
- Is the siting, design and external appearance of the development acceptable?

Is the proposal permitted development?

6.2 The proposed building is considered to be reasonably necessary for the purposes of agriculture being designed to store agricultural implements and foodstuffs for farm animals. The building would be sited on a separate parcel of land forming part of the existing agricultural unit exceeding 1 hectare in area and would have an area of 108.5 square metres. The development would be located adjacent to the highway, but this is an unclassified road.

6.3 The proposals satisfy the conditions set out within Class A.1, Part 6, Schedule 2 of the Town and Country Planning (General Permitted Development) Order 2015 and are therefore considered to be permitted development, subject to receiving the prior approval of the Local Planning Authority.

Is the siting, design and external appearance of the development acceptable?

6.4 The proposed building is of a standard agricultural design, consisting of concrete panels below timber Yorkshire boarding with a dual pitched grey cement fibre sheet roof. Six clear rooflights would sit within the roof with one large opening in the east elevation. The building would be sited in the south-west corner of the field and accessed via a new hardcore track with a length of circa 46 metres, running from the existing field gate along the southern boundary of the site. An existing dry stone wall runs along this boundary, partially screening the development. The development would be screened to the west by the existing woodland.

6.5 The Parish Council have objected to the siting of the building due to its visibility from the adjacent highway.

- 6.6 The building would have a height of 4.5 metres and an area of 108 square metres, with associated hardstanding and track. The application site is a vacant agricultural field and is not located in close proximity to existing built development.
- 6.7 However, the applicant has provided additional information in relation to the siting of the building, confirming that other sites have been considered but discounted due to steep land levels, unsuitable access and limited space for manoeuvring and storage. Within the chosen field, the building would be sited in the south-west corner, adjacent to the woodland and boundary wall to reduce its visual impact and reduce the length of the required access track.
- 6.8 While the building would not be sited in close proximity to existing built development, it is of a clearly agricultural design and sited within the available space to minimise its visual impact on the wider landscape, respecting the existing field boundary and partially screened by existing tree cover and boundary treatments.
- 6.9 I am therefore satisfied that the proposed development is acceptable in relation to its siting, design and external appearance.

7 Conclusion

- 7.1 Having regard to the provisions of the development plan, in particular Lake District National Park Local Plan Policies 01, 02, 05, 06 and 07, and other material considerations (including the provisions of the NPPF), the development is considered to be acceptable.
- 7.2 At the time of writing the public consultation period is ongoing and does not expire until 27 May. Any additional representations received before the Development Control Committee meeting will be reported verbally.
- 7.3 Bespoke conditions cannot be attached to prior approvals, but there are prescribed conditions which are attached to all grants of prior approval. These are set out below for clarity.

RECOMMENDATION: APPROVE with conditions

Conditions

- 1 The development hereby permitted shall be **carried out within FIVE years** from the date specified in the Notice of Approval.
- 2 The development shall be carried out in entire accordance with the particulars specified in the notifications and plans submitted to the Authority.

ADDITIONAL CONDITIONS RELATING TO AGRICULTURAL BUILDINGS:

- 3 Where development consists of work for the erection, extension or alteration of a building and
- a) the use of the building or extension for the **purposes of agriculture** within the unit **permanently ceases within ten years** from the date on which the development was substantially completed; and
 - b) planning permission has not been granted on an application, or has not been deemed to be granted under Part III of the Act, for development for purposes other than agriculture, **within three years** from the date on which the use of the building or extension for the purposes of agriculture within the unit permanently ceased,

then, unless the local planning authority have otherwise agreed in writing, the building or, in the case of development consisting of an extension, the extension, **shall be removed** from the land and the land shall, so far as is practicable, be **restored** to its condition before the development took place, or to such condition as may have been agreed in writing between the local planning authority and the developer.

- 4 Where development consists of works for the erection, extension or alteration of a building, the developer shall notify the local planning authority, in writing and **within seven days**, of the date on which the development was **substantially completed**.

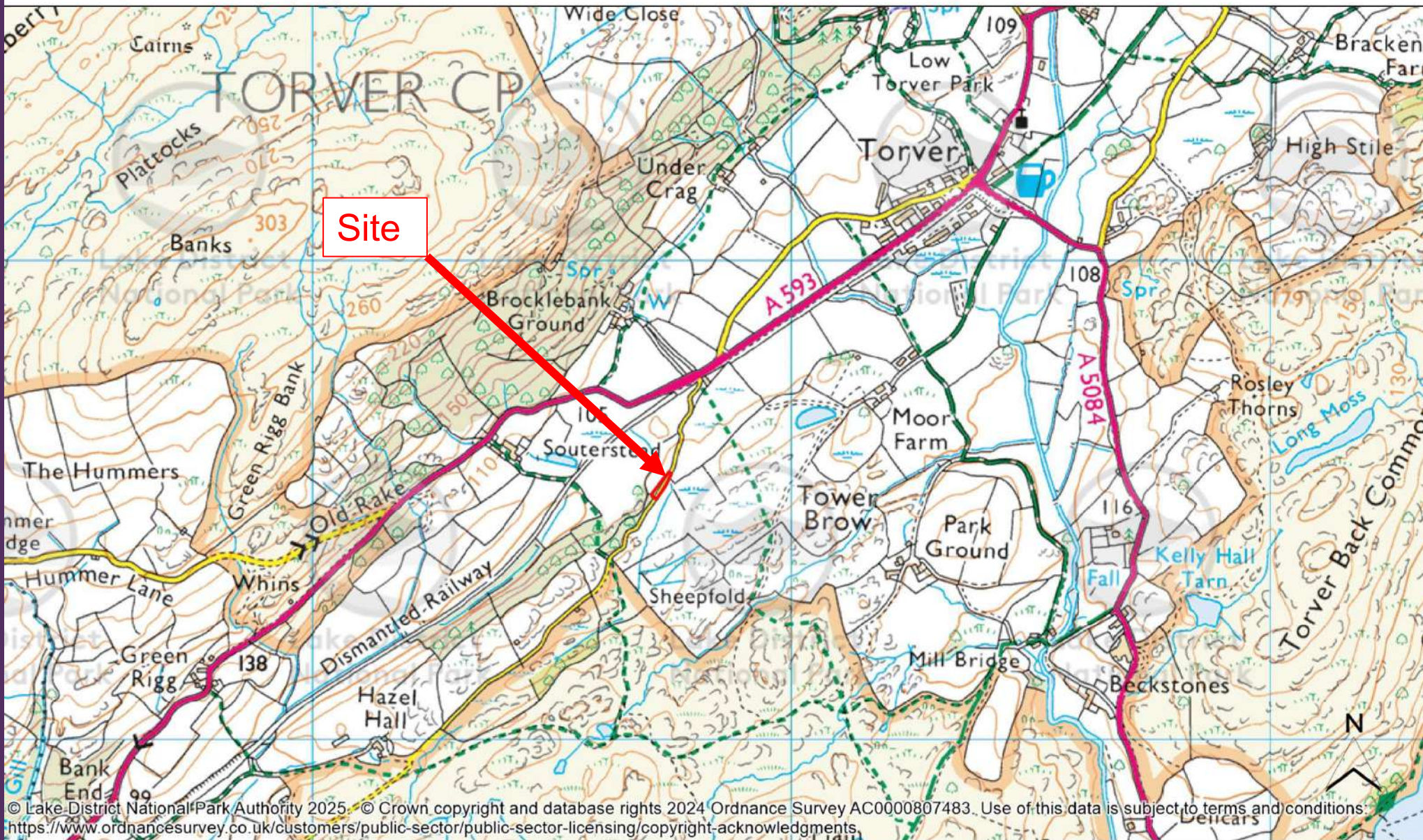
Background papers

Background papers are available for inspection on the planning application file unless otherwise specified on that file as confidential by reasons of financial/personal circumstances in accordance with the Local Government (Access to Information) Act 1985.

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Land at Torver, Cumbria, LA21 8BS

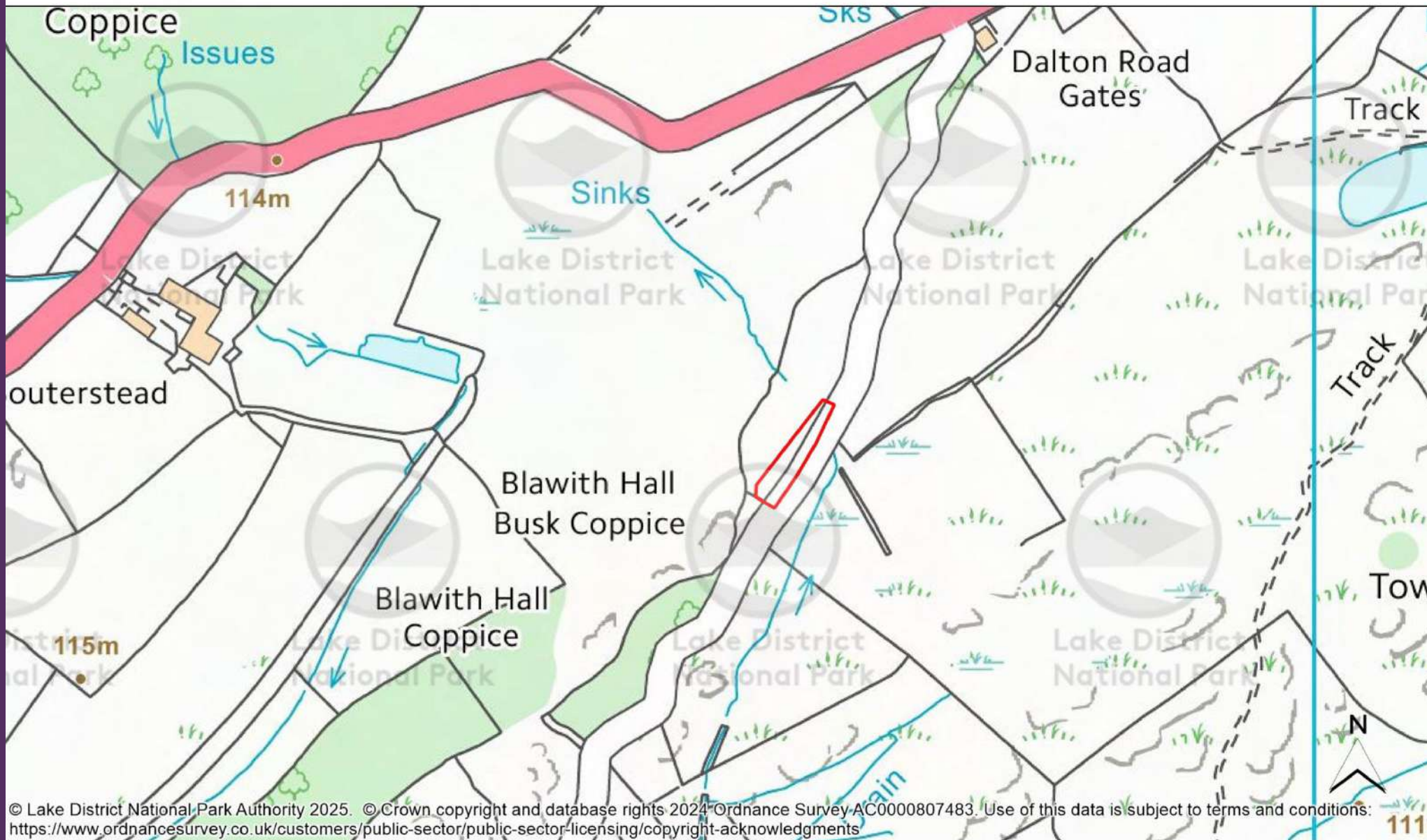
New agricultural storage building



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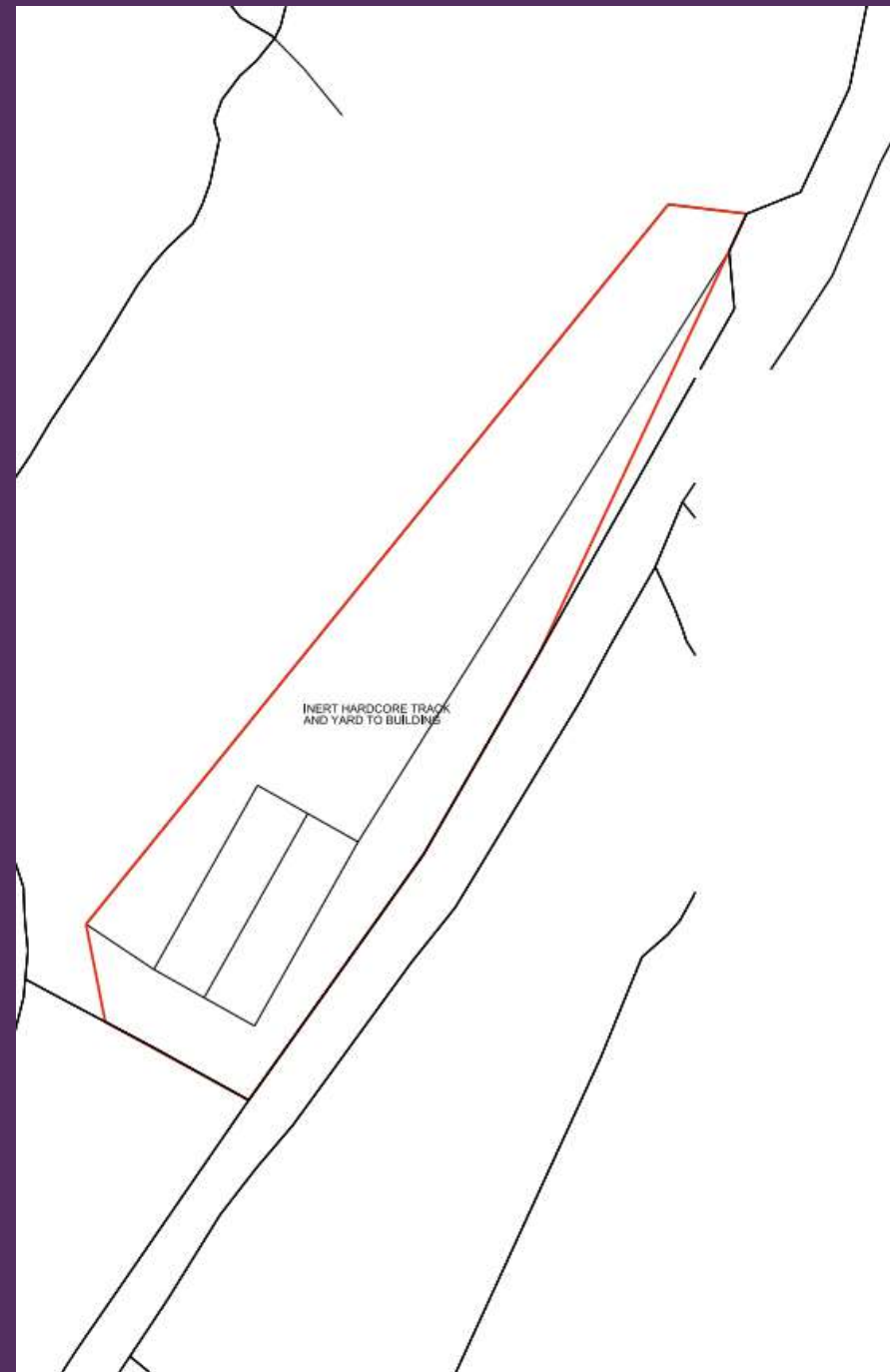
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Application Site

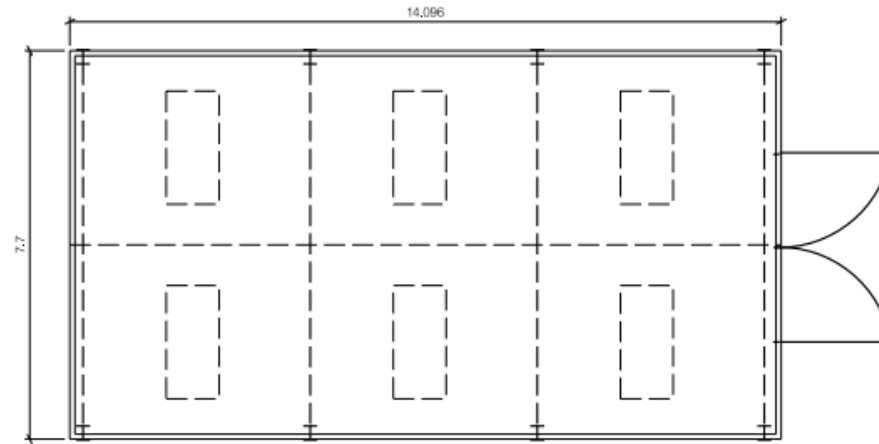




Proposed Site Plan

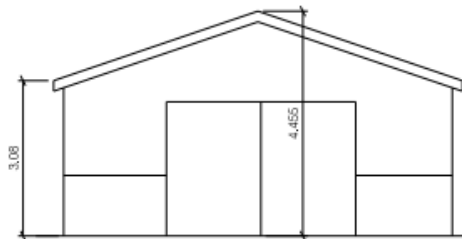


Proposed Plans



proposed plan

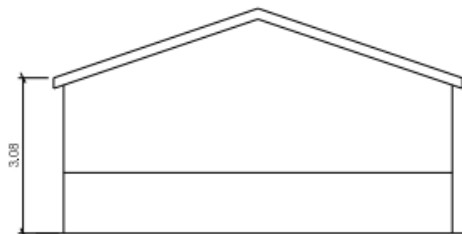
MATERIALS
STEEL PORTAL FRAME
YORKSHIRE BOARDING OVER CONCRETE PLINTH WALL
FIBRE CEMENT ROOF SHEETS
CLEAR ROOFLIGHTS
HARDCORE TRACK 200MM THICK



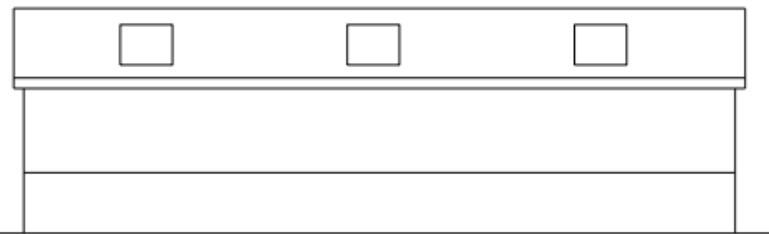
east elevation



north elevation



west elevation



south elevation

