



**Lake District
National Park**

6

**Report from the Head of Development Management to the
Development Control Committee**

Application number:	7/2025/5066
Application type:	S73 (Amend/Delete Condition)
Applicant:	Mr & Mrs Bell
Location:	Boathouse, Storrs Park, Windermere, LA23 3JG
Grid reference:	339777 495321
Proposal:	Demolition of the covered wet dock, jetty & two storey detached building. Erection of a replacement jetty and two storey boathouse with widened wet dock. Dredging the lake bed within the wet dock and around the existing jetty (Resubmission of 7/2020/5529) - variation of condition 2 (plans) of planning permission 7/2021/5558 for door, fenestration and roof amendments, an external staircase, vehicle turntable and external wall downlights
Report prepared by:	Jackie Ratcliffe, Area Planner
Report agreed by:	Andrew Smith, Head of Development Management
Recommendation:	APPROVE with conditions

1 About this report

- 1.1 The case planner has prepared this report, assessment and recommendation taking into account our policies (known as the Development Plan), written representations we have received, and any other material considerations.
- 1.2 Material considerations are things that are relevant to our decision making and which we are able to take into account – for example site specific factors, or Government planning policy (the National Planning Policy

Framework) and Government planning guidance (the National Planning Practice Guidance).

- 1.3 The Development Control Committee will determine the application at its meeting having regard to the provisions of the Development Plan, representations we have received, and all other material considerations, following a verbal and visual summary of the application by the case planner and, where applicable, after hearing any verbal representations made in accordance with our Policy for Public Speaking at Meetings.
- 1.4 Most applications are decided under powers delegated to the Head of Development Management. A small number of significant or more contentious applications are considered by our Development Control Committee as set out in our Scheme of Delegation.

2 Proposals

- 2.1 This application is a part-retrospective submission seeking amendments to a previously approved boathouse scheme. The application is submitted because the development as constructed so far deviates from the approved plans in some areas, and because the applicant also wishes to make changes to some parts of the scheme not yet constructed. This application is made under Section 73 of the Town and Country Planning Act 1990 and seeks to amend condition number 2 (approved plans) on planning permission 7/2021/5558 (Demolition of the covered wet dock, jetty and two storey detached building. Erection of a replacement jetty and two storey boathouse with widened wet dock. Dredging the lake-bed within the wet dock and around the existing jetty) and provides for door, fenestration and roof amendments, an external staircase, vehicle turntable and external wall downlights.
- 2.2 The main amendments sought include:
 - Increase in height of the boathouse roof
 - West elevation first floor glazing reduced by the omission of the gable apex glazing and the door design amended
 - Door to wet dock amended from timber grained composite doors (grey) to aluminium roller shutter door (anthracite grey)
 - Amendments to window designs at ground and first floor level on the south elevation – same size of opening, same location, but different design
 - Amendment to window design at first floor level on the north elevation – same size of opening, same location but different design
 - External timber stair added to existing walkway on north elevation
 - Inset galvanised steel grid vehicle turntable with permeable surface added to east side of the site
 - Four wall downlights on west elevation, two on east elevation - <2700 Kelvins
- 2.3 Revised and additional plans have been submitted during consideration of the application which clarify the amendments sought and provide details of the proposed turntable.

3 Background

3.1 There have been three recent applications at this site:

- 7/2021/5558 - Demolition of the covered wet dock, jetty & two storey detached building. Erection of a replacement jetty and two storey boathouse with widened wet dock. Dredging the lakebed within the wet dock and around the existing jetty (Resubmission of 7/2020/5529) – Approved with conditions on 14 September 2021.
- 7/2022/5522 - Approval of details reserved by condition no 4 (Pre-Development Arboricultural Report) on planning approval ref 7/2021/5558 – Complies with Condition 4 October 2022.
- 7/2023/5769 - Non-material amendment to planning application 7/2021/5558, to reduce the lower ground floor area – Approved Unconditionally 10 January 2024.

3.2 There is one current enforcement investigation at the site:

- Enforcement investigation E/2023/0208 (current) - Alleged non-compliance with 7/2021/5558. Matters considered:
 - Footprint of the boathouse as built – size, method and orientation not in accordance with approved plans: Regularised by Non-material amendment application 7/2023/5769
 - Further allegation received regarding the 'as built position' of the boathouse, stating it is not in the correct position and is larger than the planning permission. Site visit undertaken on 15 October 2024 to take measurements of the boathouse as built. It was found that these measurements correspond with the plans as approved, and any differential is considered within tolerance. The exception being the height of the building which is approximately 30cm higher than approved.
 - 7/2025/5066 S73 application for amendments to the height of the building and other amendments submitted 4 February 2025 – this application.

4 Consultee responses

4.1 Windermere Town Council recommend refusal – their comments can be summarised as follows:

- No response from the applicant to the objector's comments makes it difficult to consider the application in its entirety. (*The applicant has responded to the objector's comments but this was not available in time for the meeting of the W&BTC*).
- The Town Council comments they cannot consider the degree of variation in the absence of precise measurements of the overall size and height of the original and approved buildings.
- In addition, there is an allegation that the building is at an angle not in accordance with the original plans which affects the privacy of neighbouring properties and would require obscured windows. This is hard to distinguish from the submitted plans.

- The changes on the West elevation to replace timber boarded doors with patio doors with timber shutters (lower) and aluminium folding sliding doors to patio doors with wall downlights (upper) are a significant change indicative of a wider use other than a simple boathouse.
 - The new turntable requires verification of the tree protection processes to ensure adequate protection of the TPO tree.
 - The proposed incremental changes would have significant detrimental effect on the amenity of the neighbouring property. Intrusion on the privacy of neighbouring buildings should be mitigated by specifying obscure glazing where required if the Park is minded to approve the application.
 - It appears that this is a blatant case of non-compliance. Firm and clear direction from the LDNPA would be welcomed to resolve this long running situation. The number of open and unanswered questions leave us with no choice but to recommend, refusal of this amended application.
- 4.2 Westmorland and Furness Council as Local Highway Authority and Lead Local Flood Authority have no objection to the proposed development as it is considered that it will not have a material effect on existing highway conditions, nor will it increase the flood risk on the site or elsewhere.
- 4.3 Environment Agency have no objections to the revised proposals, but they maintain their previous comments regarding flood risk and finished floor levels of the first-floor day room, and Environmental Permit, Fisheries and non-mains drainage advice.
- 4.4 Lake District National Park Authority Tree and Woodland Adviser comments the prominent Oak tree on site is protected by TPO: 428. No arboricultural information has been submitted as part of this S73 application that provides assurances that the additional elements of the proposals (the stairs and the base of the stairs) will not negatively impact upon the legally protected tree. Full information should be provided before construction commences (constraints, tree protection measures and full method statement). The condition in 7/2021/5558 is not sufficient to protect the tree so tree protection measures via new conditions are required. For example, a condition for the foundation details and method of installation of the stairs and stairs base.

5 Representations

- 5.1 Representations have been received from two households, both objecting to the application. The issues raised can be summarised as follows:
- Object on the grounds of overlooking and the impact on loss of privacy and residential amenity (Brunton) – the rear windows of the boathouse directly face well used habitable rooms (living room) in the building which is immediately behind the boathouse. It appears that the boathouse has been built at a slightly different angle and length - which has meant that the rear window in the boathouse is more directly facing and closer to neighbouring property. In addition, the separation distances between the two buildings is far less than the

standard planning guidance requirements of circa 21m. The boathouse window looks directly into the neighbouring building. As a minimum it would be expected that the offending window be fully obscured glazed to prevent and restrict detailed views

- Significant impact on privacy, massing, and disregard for the planning system (Storrs Holme). This application seeks to rectify substantial deviations from the approved plans. The applicant's actions demonstrate a clear disregard for both the planning process and the surrounding properties, particularly within the prestigious World Heritage Site. Key concerns include:
 - i) Deviation from Approved Plans: The building is higher, with a larger footprint (by approximately 500mm) and at a different angle
 - ii) Overlooking & Privacy: Windows on the southern side directly overlook Storrs Holme's garden and they could be used for habitable rooms. How can we ensure these spaces are never used for overnight accommodation? The proposals do not meet national privacy standards
 - iii) Incomplete & Misleading Plans: The actual height of the boathouse is not shown in relation to what has already been approved. Detailed sectional drawings illustrating the accurate dimensions and the impact / relationship on and with its surroundings are required
 - iv) Proposed Windows & Mitigation Measures: If approved, all boathouse windows on the southern side must be fully obscured to mitigate overlooking. A new window on the Eastern gable end overlooks a neighbouring driveway and property - given the increased height, this should either be removed or made fully obscure-glazed
 - v) Massing & Visual Impact: The increased height and footprint significantly impact the character of the local area. A full impact assessment is necessary to determine whether the massing is appropriate and does not harm the surroundings
 - vi) Concerns Regarding the TPO Tree & Turntable: A vehicle turntable is now proposed within the root protection area of a TPO'd tree. An arboricultural report should be submitted in order to determine whether there is any impact to the protected tree.

This development has previously been subject to enforcement complaints, which are ongoing. Given the clear overdevelopment, increased massing, and privacy concerns, we strongly object to this application. Objector's request that:

- i) A full set of "as-built" plans be submitted, accurately reflecting the building's actual size and placement, and
- ii) A Tree Survey and Impact Assessment be provided to evaluate the effect of the proposed turntable on the adjacent TPO tree

5.2 The Applicant has provided a rebuttal to the two representations detailed in paragraph 5.1 above, advising that:

- The building has been constructed 200mm higher than that approved and that this increase is clearly indicated on the revised drawing, ref 5977-03j. Whilst the ridge line has increased in height the internal floor

level remains unaltered from that approved, meaning that any views from the windows have not increased.

- The footprint of the replacement building as built is precisely the same as the original building and that permitted. It is therefore factually incorrect to say that it is 500mm larger.
- The angle of the building remains the same as the original building. It is therefore factually incorrect to say that it has been built at a different angle.
- When approving the 2021 application the planning officer was satisfied that, with regard to the east gable end window, there would not be an unacceptable impact on the amenity of adjoining residents and users of the proposed development due to visual intrusion and over-looking. The building is being constructed as approved, and nothing has changed to enable a different conclusion to be reached on this issue. The lower panes are to be obscure glazed.
- The location plan submitted with the 2021 application shows the building in relation to its neighbours and nothing has changed in that respect.
- The issue of the massing and scale impact of the proposals was considered in 2021, with the planning officer being satisfied that in views from the Lake the development would sit within the context of other large buildings on the lakeshore and the new boathouse being built for Storrs Holme. They considered the proposed development to be subservient to the scale of the grand houses currently under construction between the application site and the road, that it would not have a detrimental effect on the authenticity, integrity or significance of the Lake District, its immediate area or wider surroundings. When viewed in the context of the surrounding development, the 200mm increase in height has a barely discernible impact on the building's influence on the character of the surrounding area.
- An Arboricultural Method Statement, prepared by Treescapes Consultancy Ltd, was approved under 7/2022/5522 (compliance with condition 4 of planning permission 7/2021/5558. The approved parking area is to be formed on top of a suspended concrete pad so as to protect the TPO'd Oak tree's roots below from harm. As the proposed vehicular turntable is to be situated on this concrete pad it likewise will have no impacts on the tree roots.
- The applicants maintain that the development has been carried out in accordance with the revised Construction Management Plan (agreed in 2024 under 7/2023/5769). Furthermore, the applicants are not aware of any concrete being deposited in the lake as a result of their development.

5.3 A rebuttal of the applicant's rebuttal has been received. Comments can be summarised as follows:

- The response is the applicant's representative's own opinion
- The footprint of the building is not in the same place - a boundary wall has been removed and built upon
- The angle of the building is not the same - adjacent neighbours who have lived there prior to the development taking place would offer a more accurate assessment of whether the building had been

constructed at the same angle as the original building. Without specific survey evidence being submitted it cannot be proved otherwise.

- It is not factually correct to say that the building is being constructed as approved - the applicant would not be having to submit application 7/2025/5066 had they constructed the building as approved
- The 2021 application shows the building in relation to its neighbours and nothing has changed - but local residents who have long-standing familiarity with the site would be better placed to comment. Without survey evidence, this claim remains unsubstantiated.
- Whether or not the change is visibly discernible is irrelevant. The principle at stake is that the development has not been built in accordance with the approved plans, and this undermines the integrity of the planning system.
- The development has been carried out in accordance with the revised Construction Management Plan - this is “factually incorrect”, and the applicant would not be having to submit application 7/2025/5066 had they carried out the development in accordance with 7/2023/5769.
- NPPF paragraph 59 is relevant - “Effective enforcement is important to maintain public confidence in the planning system. There is a clear public interest in enforcing planning law and planning regulation.”
- It has been made clear to the applicant in the past in correspondence from the Authority that there should be no deviations from the approved drawings. But despite this deviations have occurred, and the applicant has proceeded to build in accordance with further amended plans not authorised under the original approval—hence the need for the current application.
- The LDNPA may well “choose to use” their “usual term of phrase” in deciding this application: “If this scheme had been proposed initially, would we have approved it and in having approved the previous application is there a significant difference between this amended proposed scheme and what has already been approved”.
- If the LDNPA fail to take a stance against this application, then this encourages applicants to build whatever they want to then be later “advised” to submit retrospective applications “to right a wrong”.
- This is not just about policies in accordance with the adopted plan, this is about enforcing Planning Law and Planning Regulation.
- There have been clear and continued breaches of Condition 2 of the original planning approval. To uphold planning principles and maintain public confidence, we respectfully request that the LDNPA refuse application 7/2025/5066 and take appropriate enforcement action where necessary.
- The proposed S73 application is not an appropriate mechanism for addressing the extent of changes made to the build. It should either be withdrawn or refused, and a full planning application submitted instead.

6 Development plan policies and other relevant guidance

6.1 The relevant Development Plan comprises:

- The Lake District National Park Local Plan 2020-2035

6.2 The following Lake District National Park Local Plan policies are relevant to this application:

- Policy 01: National and international significance of the Lake District
- Policy 02: Spatial strategy
- Policy 03: Development and flooding
- Policy 04: Biodiversity and geodiversity
- Policy 05: Protecting the spectacular landscape
- Policy 06: Design and development
- Policy 20: Renewable and low carbon energy
- Policy 24: Lakeshore development

6.3 The National Planning Policy Framework (NPPF) sets out the Government's planning policies for England and how these are expected to be applied. It is a material consideration in the determination of planning applications.

7 Main issues and assessment

7.1 Whilst there may be many changes to the approved plans, the majority are minor in nature and this S73 application is an appropriate process in which to deal with them.

7.2 Planning permission for a boathouse has been granted previously. The principle of development remains acceptable.

7.3 The amendments sought under this application would not have any impact on the previous assessment with regard to biodiversity, flooding and renewable and low carbon energy. I do not therefore intend to re-address these issues in this report.

7.4 The main issues in this case are:

- Appearance and impact on the character of the area
- Impact on the neighbours
- Trees

Impact on the character and appearance of the area

7.5 The applicant states that the ridge and eaves levels of the boathouse have been increased by 200mm, that the footprint is the same as the original building and that permitted (under non-material amendment 7.2023/5769) and the angle of the building on the site also remains the same as the original building. Objectors maintain that the height of the building has been increased, that the footprint is 500mm larger than approved and that the building has been reangled on the site. They consider that these changes have a significant impact on the character of the local area.

7.6 Applicant and objectors dispute the facts and merits of the development as built so far. I have visited the application site. My assessment is based upon the building as constructed. Having undertaken site visits and considered the immediate surrounding area and having noted the variation in the heights and sizes of other boathouses in the immediate area and the fact that the boathouses are viewed in the context of larger dwellings on this part of the lakeshore, I am satisfied that the height of the

boathouse as built and any alteration in the footprint and angling of the building on the site which has occurred does not materially impact on the character and appearance of the area.

- 7.7 Windows on north and south elevation are comparable openings and locations as previously approved. The amended window designs within these openings are minor in nature and do not adversely impact the character or appearance of the area.
- 7.8 The first floor window on west elevation is reduced by the omission of the gable apex glazing, but door widened by 350mm and design amended. This is the public elevation to the Lake. I consider the amended door to be in proportion in relation to the overall elevations and I am satisfied that there is no material impact on the character and appearance of the area.
- 7.9 Changing the door to wet dock to a grey aluminium roller shutter door reflects other wet dock doors in this row of boathouses. I am satisfied that there is no material impact on the character and appearance of the area.
- 7.10 On the ground floor west elevation patio doors are now proposed behind the approved timber shutters/doors and the width of the opening has been reduced by 300mm. I am satisfied that there will be no material impact on the character and appearance of the area.
- 7.11 An external stair is proposed parallel to the north elevation of the boathouse from an approved raised walkway. It is set in an enclosed area between the boathouse, the adjacent boathouse to the north and behind the wet dock building. It would not be readily visible from the lake or the private land to the east. I am satisfied that there will be no material impact on the character and appearance of the area.
- 7.12 A new turntable would be within the approved raised parking deck, level with the ground surface as previously approved. I am satisfied that this is a minor alteration with no material impact on the character and appearance of the area.
- 7.13 The external lighting units proposed on the east and west elevations are downlighters with a light level of less than 2700 Kelvins. I am satisfied that this is a suitable level of lighting and that there would be no material impact on the character and appearance of the area.
- 7.14 I have considered the concerns raised in representations about the development as built and the application as proposed. However I am satisfied that the development as built is acceptable in terms of its impact in this respect and that it satisfies the requirements of Local Plan policies 01, 02, 05, 06, and the NPPF.

Impact on the amenity of neighbours

- 7.15 Representations objecting to the development on amenity grounds have been received from the dwelling to the north and east of the site (Brunton)

and the dwelling to the south and east (Storrs Holme). As the development exists, I have been able to enter the site and building to inform my assessment of impacts on the amenity of the neighbours.

Brunton

- 7.16 The representation from Brunton has objected to the overlooking created and the loss of privacy and residential amenity to their property from the rear east window in the boathouse as a result of the reangling and lengthening of the footprint of the boathouse closer to their property and the shortened separation distance.
- 7.17 The setting out of the footprint and layout of the boathouse has been observed on site in relation to the property at Brunton. The window contains obscured glazing to the lower level, and is not proposed to be altered in any way. The main dwelling of Brunton is some 23 metres to the northwest of the site with a hedge, wall and trees in between, and I am satisfied that there is no amenity issue in respect of the main house.
- 7.18 Brunton does have a garage outbuilding with ancillary accommodation in the roof offset immediately to the east of the site. This building and accommodation has a dormer window looking straight over the site to the north of the application site, and towards the oak tree on the site. This window is at the top of the stairs which aligns straight into the living/dining area of this accommodation at Brunton. Having observed this relationship on site I am satisfied that the situation that exists here is acceptable in terms of the amenity of this neighbour given the distance, levels and angles of the views.
- 7.19 The representation suggests that the window in the east elevation should be fully obscure glazed. However, as the window has been installed as previously approved and the relationship is acceptable as built, it would be unreasonable and unnecessary to impose such a condition now.
- 7.20 The other amendments sought would not adversely impact on the amenities of this property due to their minor nature, the context of the site, its boundary treatments and what has already been approved.
- 7.21 I am satisfied that the amendments now sought would not have an unacceptable impact on the amenity of this property due to visual intrusion, overlooking, overshadowing, overbearing effect or other adverse impacts.

Storrs Holme

- 7.22 The representations from Storrs Holme object stating that the building is higher, with a larger footprint (500mm increase) and at a different angle on the site resulting in overlooking and loss of privacy created by the windows on the southern elevation. Concern is also raised that the boathouse could be used as habitable rooms thereby increasing the overlooking, and it is suggested that these windows be made obscure glazed to mitigate against this.

- 7.23 The applicant maintains that the ridge and eaves levels of the boathouse have been increased by 200mm, that the footprint is the same as the original building and that permitted (under non-material amendment 7/2023/5769) and the angle of the building on the site also remains the same as the original building.
- 7.24 My assessment is based on what is now on the site, considering the existing relationship between neighbours and the boathouse as built.
- 7.25 The approved plans are for a boat store with dayroom above. We cannot surmise that this use would change to another use in the future and if a change of use of the boathouse occurred which requires planning permission, then we would have control over this. We must assess the application before us.
- 7.26 The amendments sought under this application relate to different windows. The changes to windows would not have any material impact on the amenity enjoyed by this neighbouring property.
- 7.27 The windows on the southern elevation have been reviewed in the light of the alleged larger footprint and reangling of the building. However, given the size of the openings and the fact that we have previously approved similar openings in this elevation, I am satisfied that any difference in any overlooking created is not material with regard to the amenities of this neighbouring property. I also consider that it would be unreasonable and unnecessary to require the windows to now be obscure glazed, as suggested by the objector. This was not previously warranted nor do I consider it necessary now.
- 7.28 The impact of the increase in height of the ridge and eaves of the boathouse has been considered and assessed as it exists on site. The boathouse is immediately on the northern boundary with Storrs Holme, which has itself been granted planning permission (7/2024/5382 conditionally approved on 31 October 2024) for alterations to their boathouse, which includes raising its height. Whether this application is implemented or not, I consider the height of the current application boathouse to be acceptable in relation to the site at Storrs Holme. Given the context of this application site and neighbouring Storrs Holme, I am satisfied that this increase in height has not materially impacted on the amenities enjoyed by this property.
- 7.29 I am satisfied that the amendments now sought, and the building as it exists on the site, would not have an unacceptable impact on the amenity of this property due to visual intrusion, overlooking, overshadowing, overbearing effect or other adverse impacts.
- 7.30 The development is acceptable in terms of its impact on amenity and satisfies the requirements of Local Plan Policy 06, the Design Code SPD and the NPPF.

Trees

- 7.31 A protected Oak Tree (TPO 428) stands just to the north of the site. It is in separate ownership, with the crown and roots spreading into the application site. Our Tree and Woodland Adviser has been consulted, and her comments are detailed above. The proposed turntable at the east entrance to the site and the new external stair to the north would both be within the root protection area and crown spread of this tree.
- 7.32 Details of the turntable have been submitted which show it being installed within the already raised parking area, which is on a suspended concrete slab as already approved. As such the turntable would not impact on the roots of this tree and is acceptable. It is not considered that any further arboricultural report is required in order to adequately assess the impact on this tree from the turntable.
- 7.33 The external staircase will require some form of foundation, and this has not been addressed within this submission. However, it is considered that foundation details and working methodology for the installation of the stairs and stairs base can be adequately covered by an appropriate condition.
- 7.34 Subject to such a condition, I am satisfied that the tree will be sufficiently protected from harm, in compliance with policies 04 and 05 of the Local Plan.

Other matters

- 7.35 Planning permission 7/2021/5558, contained four conditions. I have reviewed these conditions and consider that condition number 1 (standard time limit) is no longer required as the development has been commenced. Condition number 2 is the approved plans condition which this application seeks to modify, and this will need to be updated and reimposed. Condition number 3 relating to drainage is still relevant and needs to be reimposed. Condition 4 relating to tree protection needs to be amended as a method statement was approved under 7/2022/5522, but further foundation details and construction methodology are required for the new external staircase.
- 7.36 Objections raise concern that the application is retrospective and express the view that the application should be refused to safeguard the integrity of the planning system.
- 7.37 The Written Ministerial Statement on Green Belt Protection and Intentional unauthorised development states Government planning policy that intentional unauthorised development is a material consideration that to be weighed in the determination of planning applications.
- 7.38 The Town and Country Planning Act gives Local Planning Authorities the power and discretion to take enforcement where it appears to them that there has been a breach of planning control and it is expedient to issue an enforcement notice having regard to the provisions of the development plan and to any other material considerations.

7.39 Government's National Planning Practice Guidance (NPPG) states that enforcement action should be proportionate to the breach of planning control to which it relates and taken when it is expedient to do so. Where the balance of public interest lies will vary from case to case and is a matter for the Planning Authority. NPPG continues:

"In deciding, in each case, what is the most appropriate way forward, local planning authorities should usually avoid taking formal enforcement action where:

- there is a trivial or technical breach of control which causes no material harm or adverse impact on the amenity of the site or the surrounding area;
- development is acceptable on its planning merits and formal enforcement action would solely be to regularise the development;
- in their assessment, the local planning authority consider that an application is the appropriate way forward to regularise the situation, for example, where planning conditions may need to be imposed."

7.40 We cannot know for sure the mind of the developer and whether they breached planning control with intent. Applicant and objectors dispute whether some breaches have occurred, and the extent of deviations from the approved scheme. As set out above however I am satisfied that the development as constructed and proposed is acceptable on its merits. The retrospective nature of the application does not change this.

8 Conclusion

8.1 Having undertaken site visits and considered the surrounding area and having noted the variation in the heights and sizes of other boathouses in the immediate area and the fact that the boathouses are viewed in the context of larger dwellings on this part of the lakeshore, I am satisfied that the height of the boathouse and any alteration in the footprint and angling of the building arising since the previous approval does not materially impact on the character and appearance of the area.

8.2 Similarly, the application and building as constructed so far has been assessed in relation to the impact on the amenities of the properties known as Brunton and Storrs Holme. In both cases, the existing situation has been assessed, and I am satisfied that the development as built does not have an unacceptable impact on the amenity of these properties due to visual intrusion, overlooking, overshadowing, overbearing effect or other adverse impacts.

8.4 Having regard to the provisions of the development plan, in particular Lake District National Park Local Plan Policies 01, 02, 03, 04, 05, 06, 20 and 24, and other material considerations (including the provisions of the NPPF), the development is considered to be acceptable, subject to the conditions recommended.

RECOMMENDATION: APPROVE with conditions

Conditions/Reasons

- 1 The development hereby permitted shall not be carried out otherwise than in conformity with the following submitted plans and details approved under planning application 7/2021/5558:

- 5977-01A Location plan
- 5977-CMS Construction Method Statement
- Bat survey by envirotech

And, the following submitted plans and details approved under this planning application:

- Drawing number: 5977-03 Revision J (Proposed Plans and Elevations)
- Drawing number: 5977-07 Revision A (Turntable Section)

REASON: For the avoidance of doubt.

- 2 The drainage for the development hereby approved, shall be carried out in accordance with principles set out in the submitted Flood Risk Assessment Ref 5977-FRA, dated: 20 August 2020 and Non-Mains Drainage Statement, Ref 5977-DS, dated 20 August 2020. No surface water will be permitted to drain directly or indirectly into the public sewer. Any variation to the discharge of foul shall be agreed in writing by the Lake District National Park Authority prior to the commencement of the development. The development shall be completed in accordance with the approved details.

REASON: To ensure a satisfactory form of development and to prevent an undue increase in surface water run-off and to reduce the risk of flooding.

- 3 Prior to the external staircase being constructed, foundation details and a working methodology for the installation of the stairs and stairs base shall be submitted to and approved in writing by the Local Planning Authority.

The external staircase shall thereafter be installed in accordance with the approved details.

REASON: To prevent damage to the protected tree during construction, in accordance with Policies 04 and 05 of the Lake District National Park Local Plan 2020 - 2035.

NPPF decision notice requirements

1. When the area inside the coffer dam is being dried out an electro fishing rescue is required and remove any fish to a safe location. The pump will need to have a small mesh cover on the intake end to prevent fish being drawn into the pump. Silt would be best left on the bank for 12 hours before being placed in skips, this should allow any eels or elvers to return back into the lake.

Town and Country Planning (Development Management Procedure) (England) Order 2015 Article 35(2) statement:

The Local Planning Authority have worked with the applicant in a positive and

proactive manner based on seeking solutions to problems arising in relation to dealing with the application by seeking further clarification and details of the proposed amendments.

Background papers

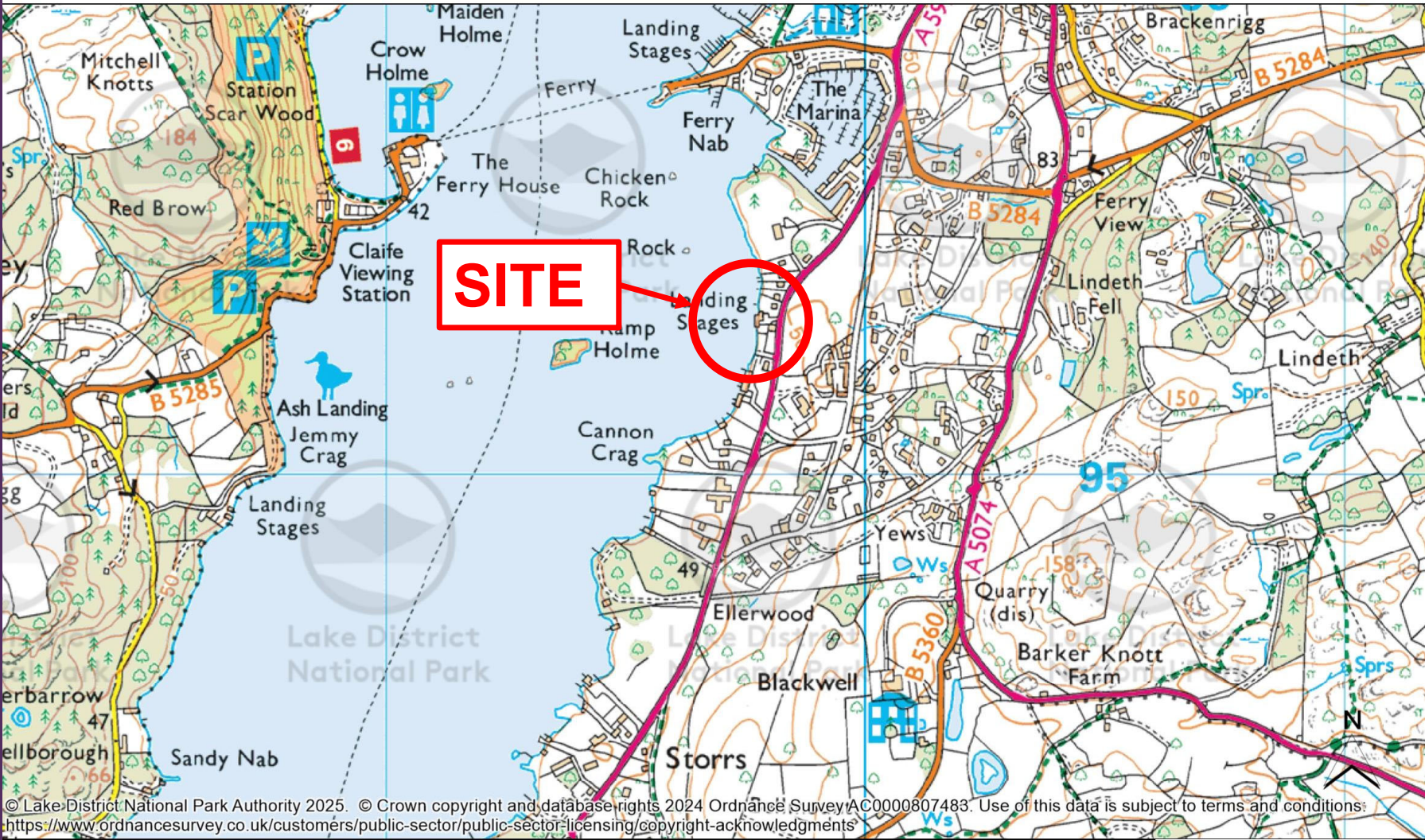
Background papers are available for inspection on the planning application file unless otherwise specified on that file as confidential by reasons of financial/personal circumstances in accordance with the Local Government (Access to Information) Act 1985.

7/2025/5066

Boathouse, Storrs Park, Windermere

Variation of condition 2 (plans) of planning permission 7/2021/5558 (Replacement building, wet dock and jetty) for door, fenestration and roof amendments, an external staircase, vehicle turntable and external wall downlights

Location Plan

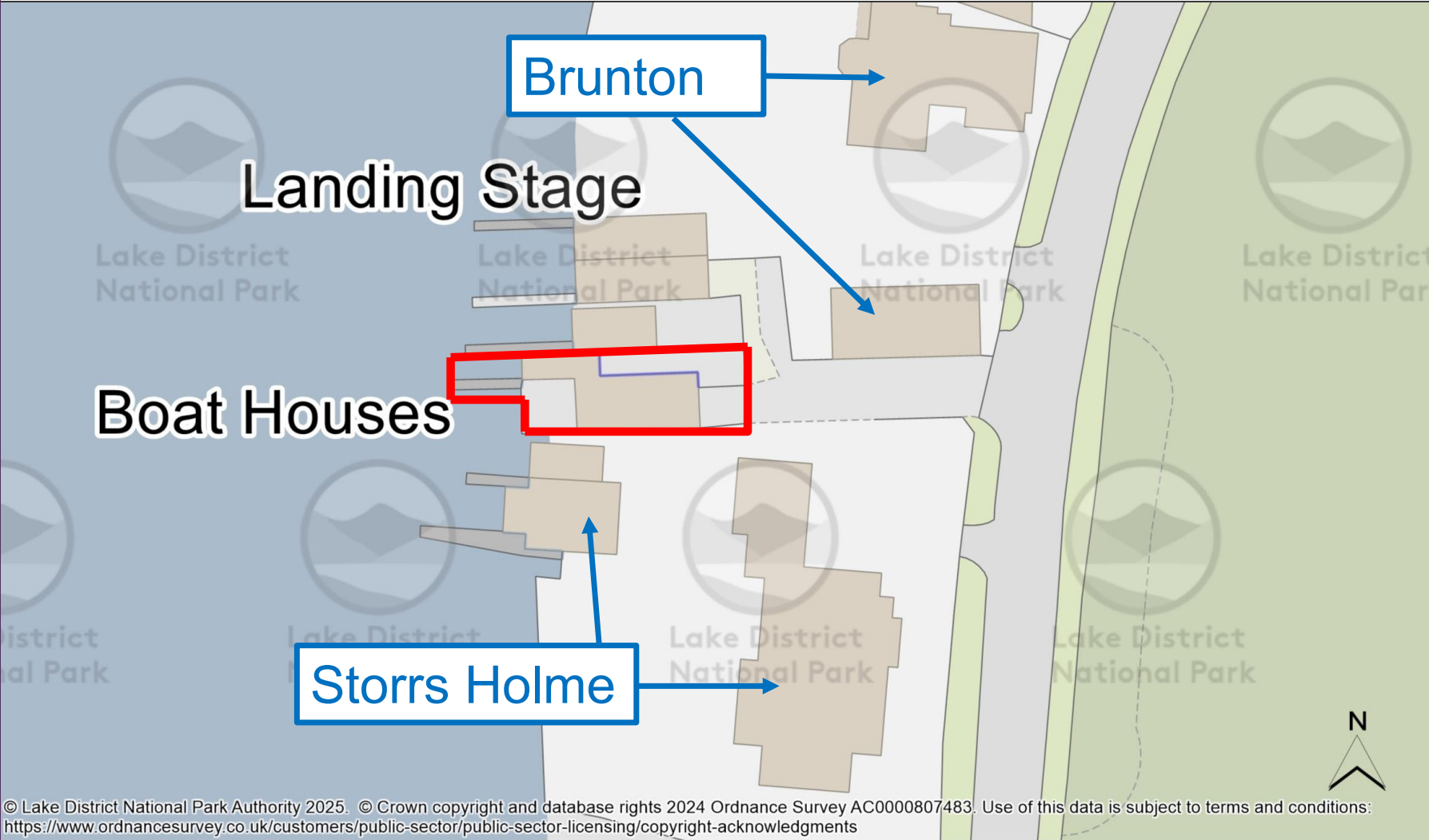


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Block Plan



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Aerial Photograph

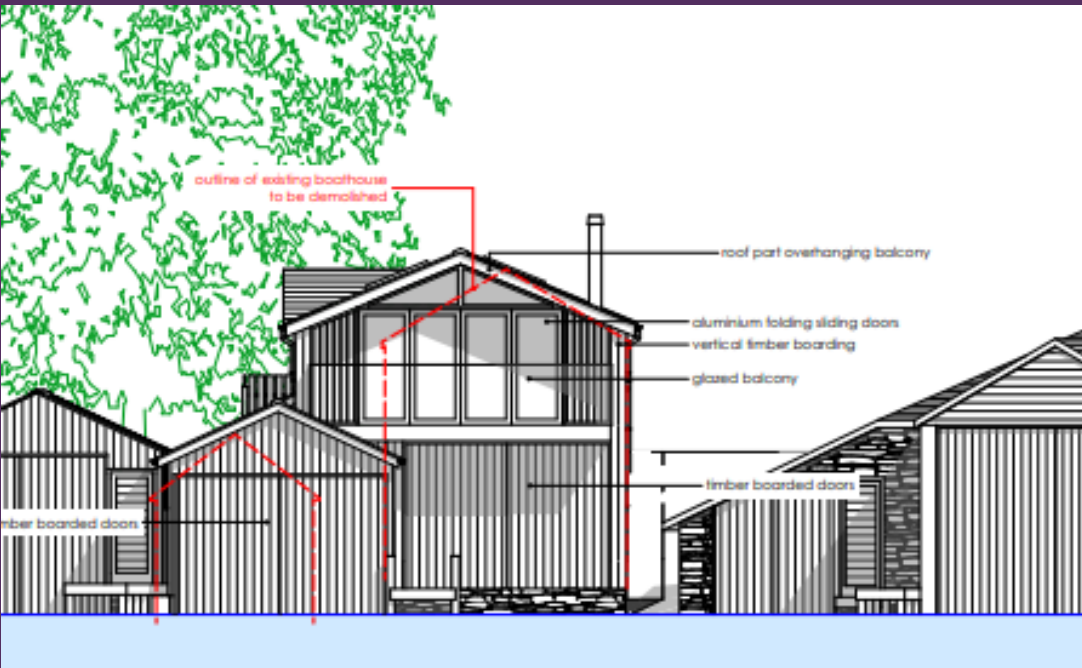


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Aerial Photographs © Bluesky International Ltd and Getmapping Plc 2025

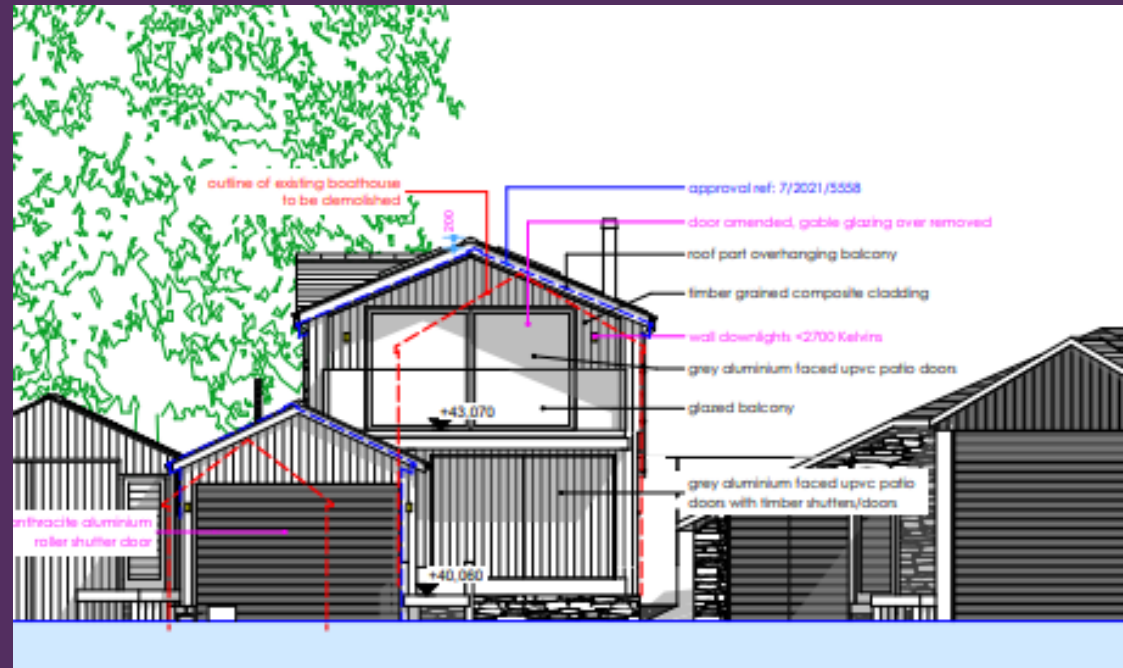
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Lake District
National Park Authority



Approved



Proposed

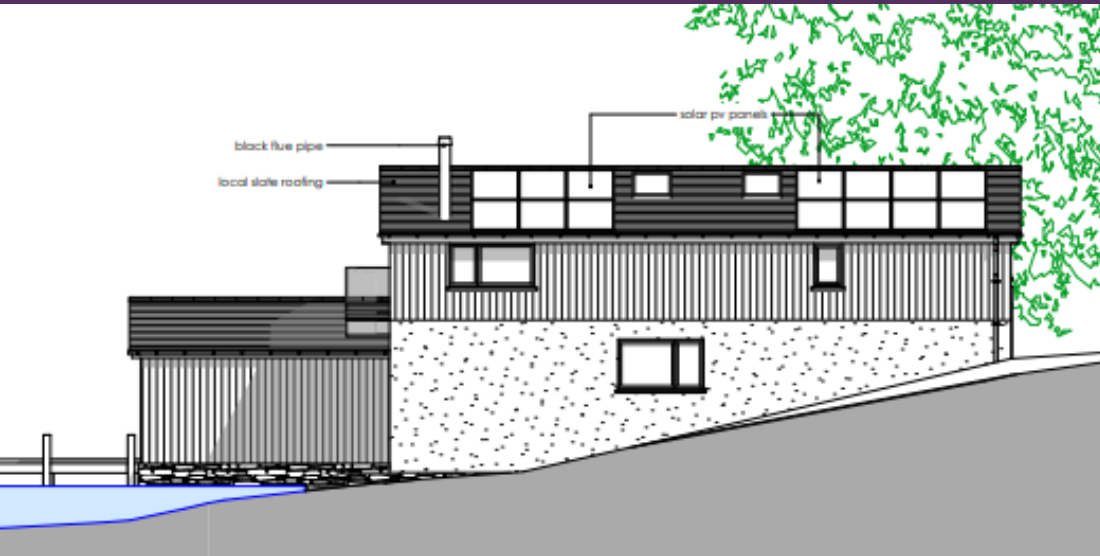
WEST ELEVATION



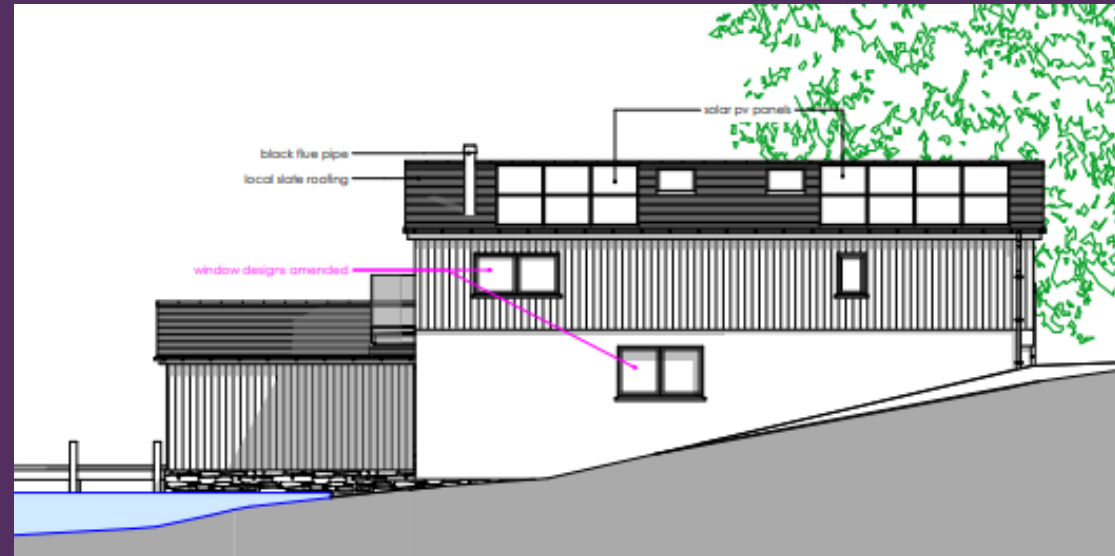
Photograph
of West
Elevation



Examples of other roller shutter doors either side of the site



Approved



Proposed

SOUTH ELEVATION



Photograph
from window
on the south
elevation
looking
towards Storrs
Holme



Approved



Proposed

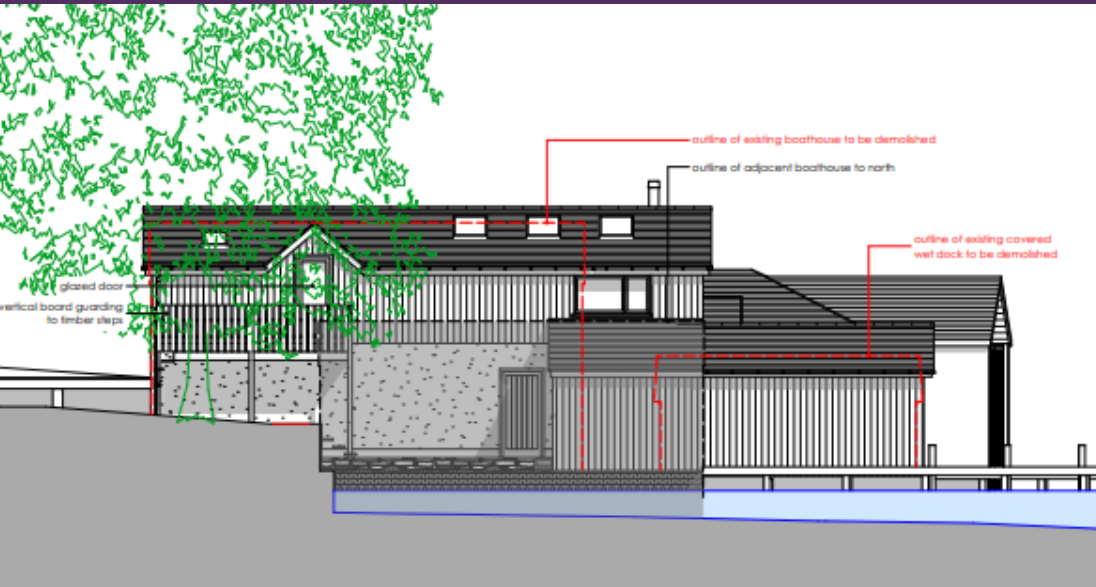
EAST ELEVATION



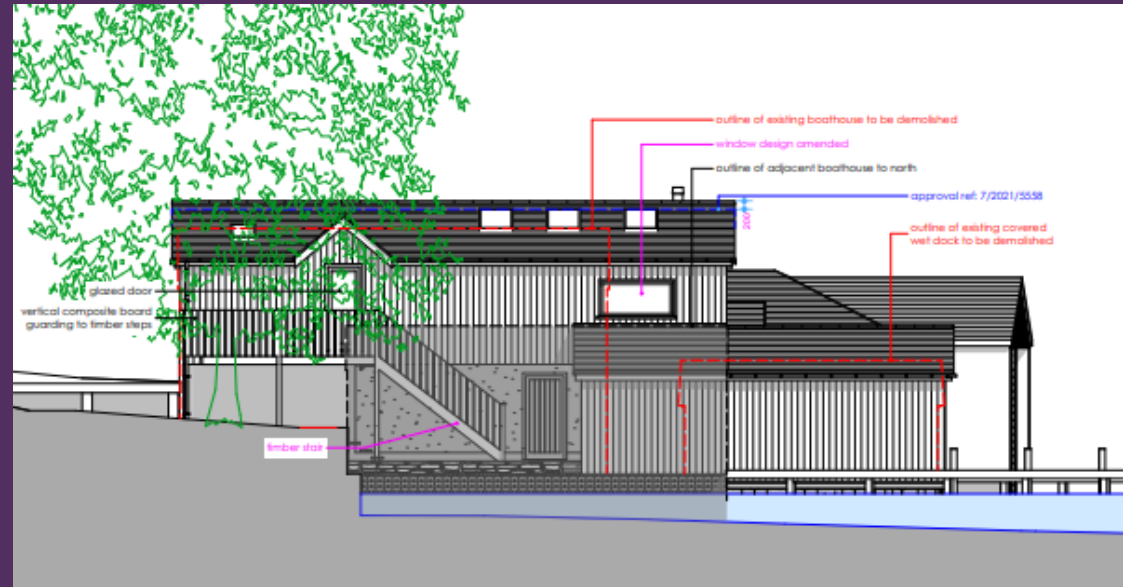
Photograph of east elevation



Photograph from window on east elevation looking towards Brunton

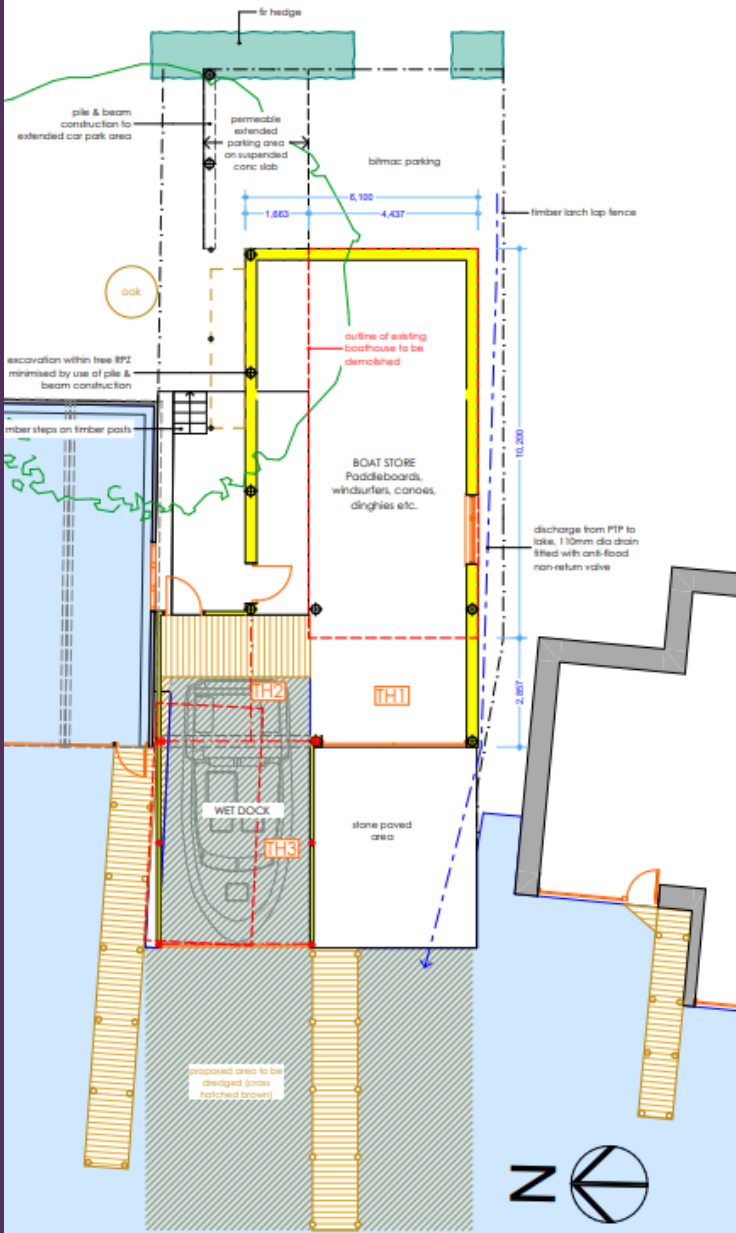


Approved



Proposed

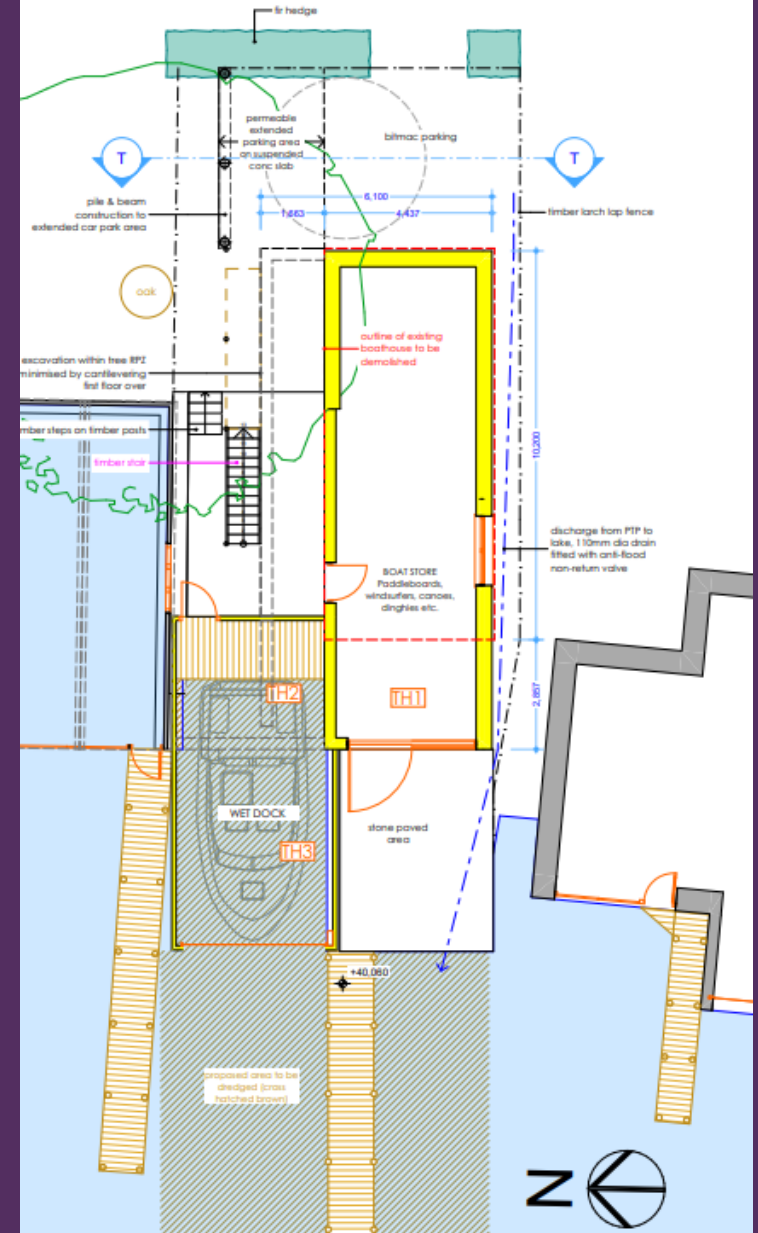
NORTH ELEVATION



LOWER GROUND FLOOR

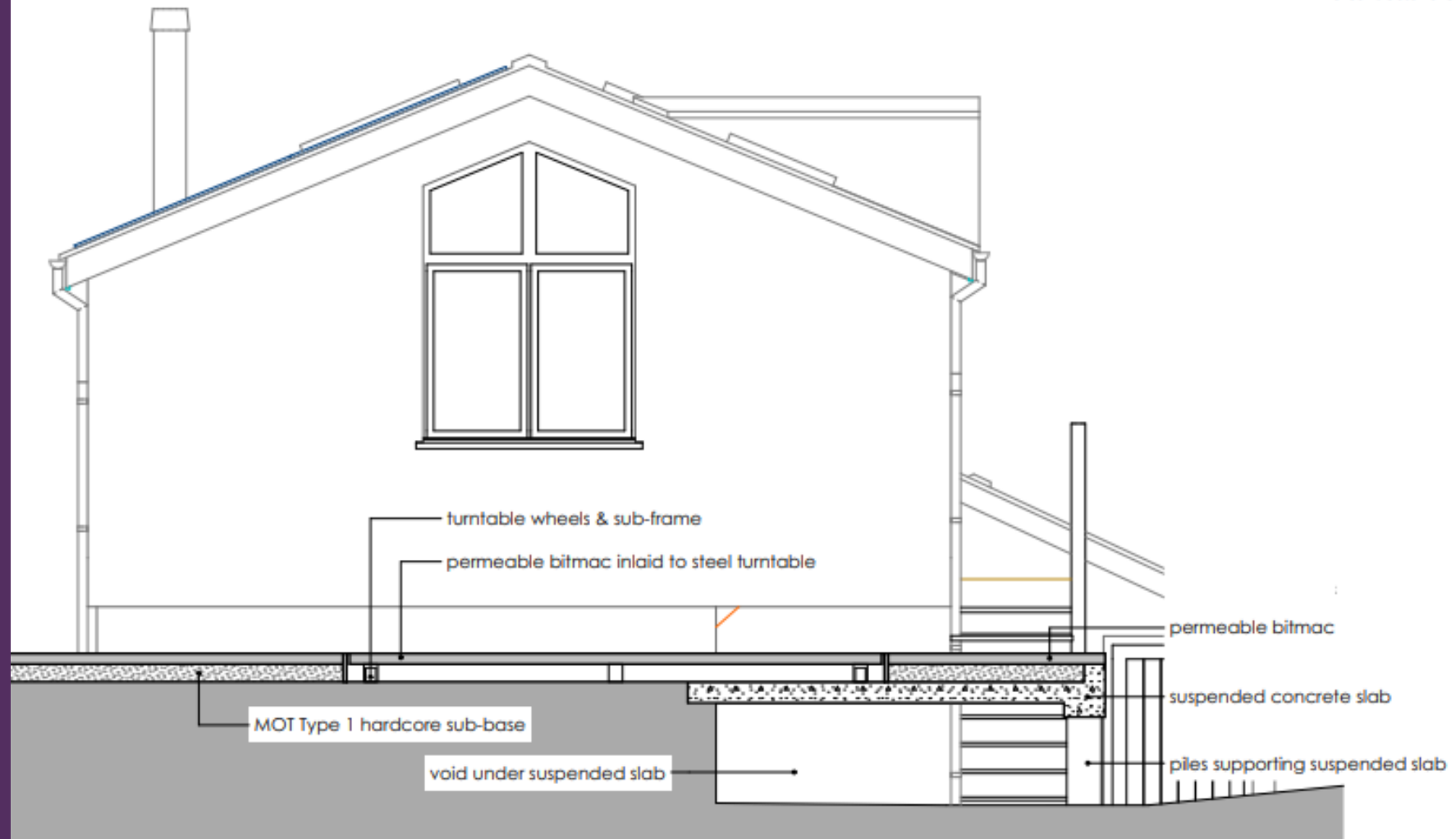
← Approved

Proposed →

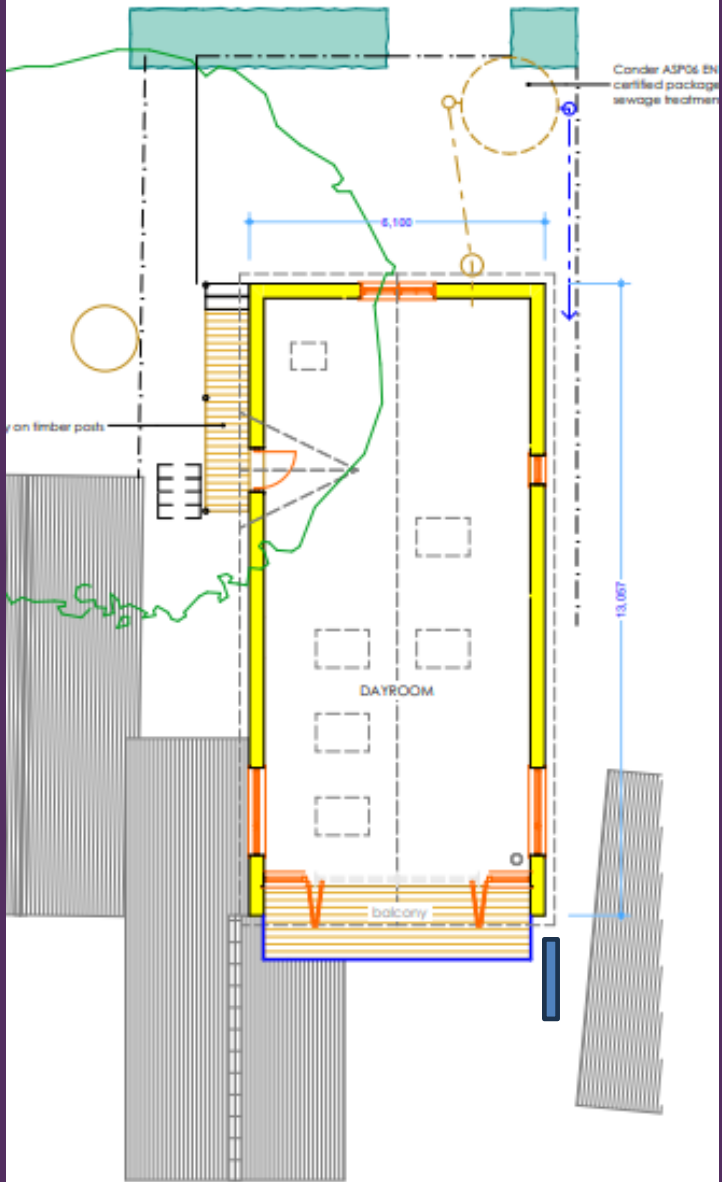




Photograph
of area for
the
proposed
turntable



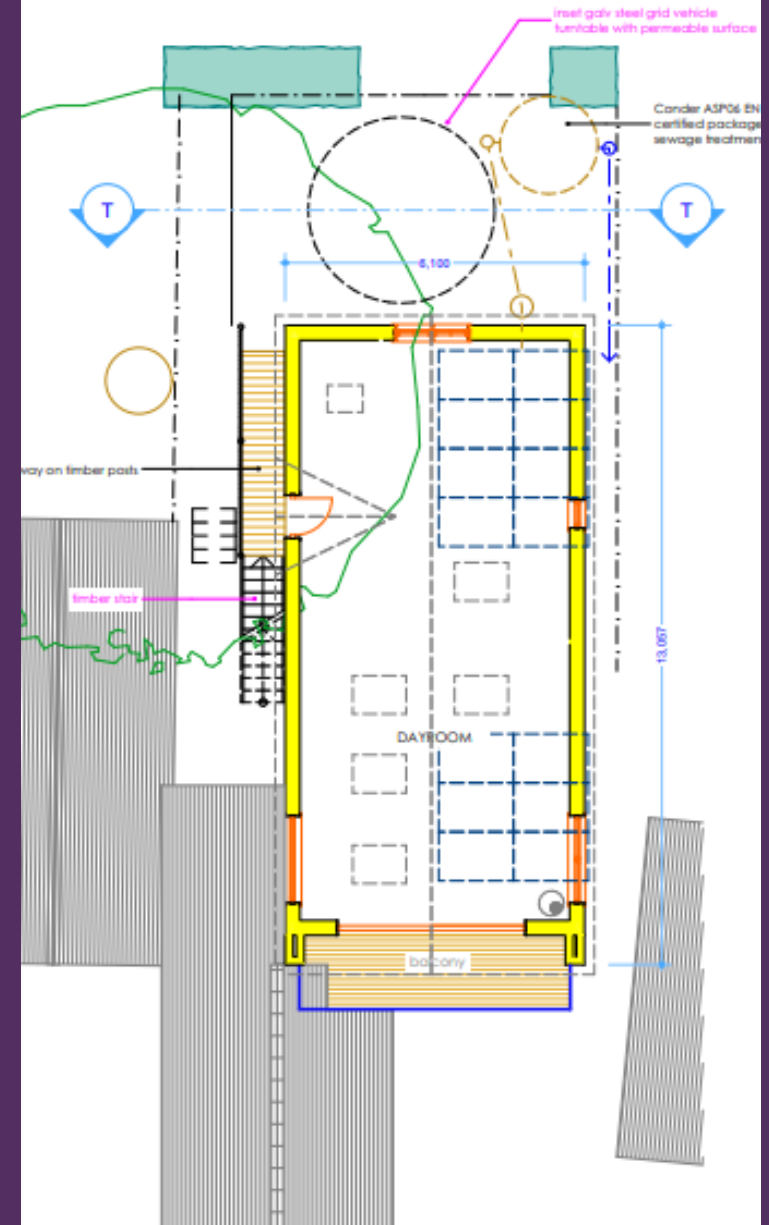
Section showing proposed turntable



UPPER GROUND FLOOR

← Approved

Proposed →





Photograph
of area for
new external
stairs